

DRAWING REGISTER

DWG No	Description	Rev	Rev Date	Description
A01	Site Plan	A	22 Dec 2021	Soakpit revised
A02	Foundation Plan	A	02 Nov 2021	Foundation rebated revised
A03	Plumbing & Drainage			
A04	Floor Plan			
A05	Bracing Plan	A	02 Nov 2021	Bracing plan revised
A06	Bracing Details	A	02 Nov 2021	Bracing calculations updated
A07	Electrical Plan			
A08	Lighting Plan			
A09	Roof Plan			
A10	Elevations	A	02 Nov 2021	Wall underlay changed
A11	Sections	A	02 Nov 2021	Notes revised
A12	Finishes Plan			
A13	Details	A	02 Nov 2021	Details revised
A14	Details			
A15	Details			
A16	Schedules			

PROJECT INFORMATION

Territorial Authority: Ashburton District Council
Building Consent Number: BC0777
Legal Description: Lot 208 DP

Ashburton District Plan
Zone: Residential C

Wind Region	: A	Wind Zone	: VH
Ground Roughness	: O	Corrosion Zone	: C
Site Exposure	: E	Earthquake Zone	: 2
Topographic Class	: T1	Climate Zone	: 3
Subsoil Classification:	E	Approx. Altitude	: 310m
Snow Zone	: N4	Snow Loading	: 2kPa

KEY
Urban / Open · Sheltered / Exposed · Low / Medium / High / Very High / Extra High / Specific Engineer Design
Subsoil Classification Classes
A-Strong Rock · B-Rock · C-Shallow · D-Deep/Soft · E-Very Soft

Approved Building

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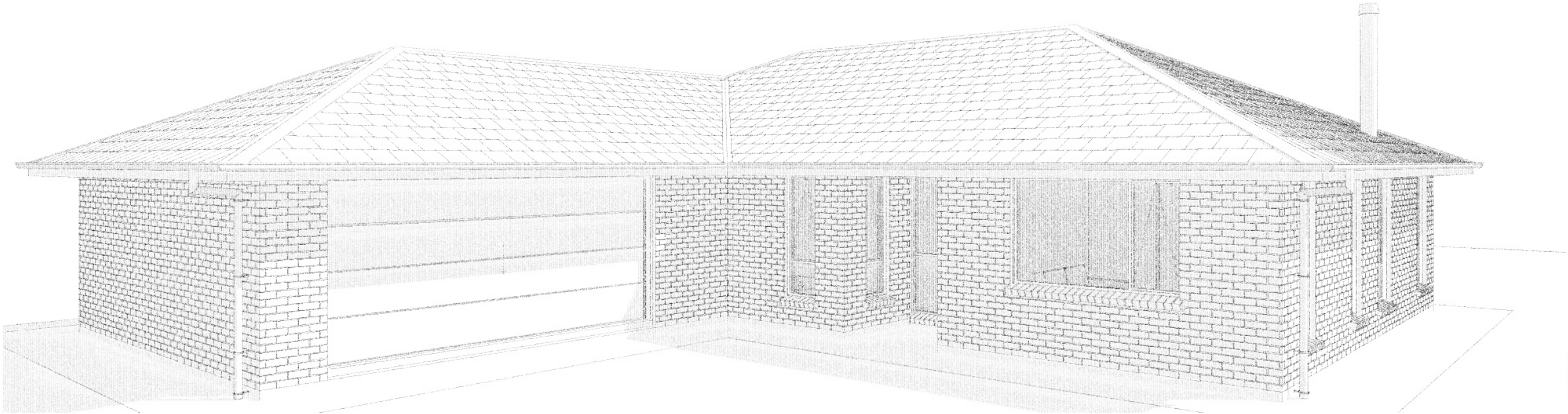
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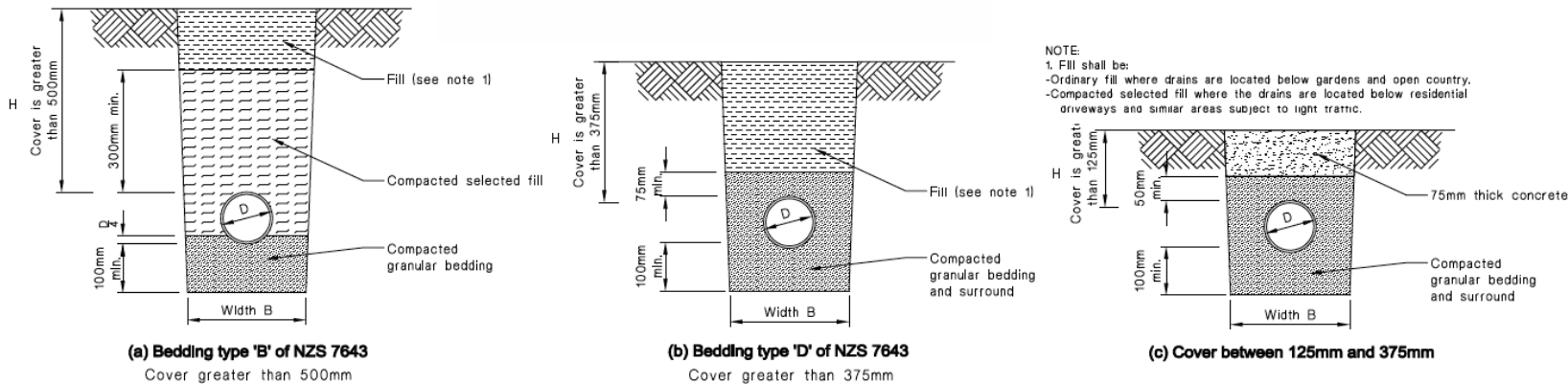
BUILDING
CONSENT

Coles Dwelling,
Lot 208 Camrose Estate,
Methven.



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Sheet Index		
JOB No:	860742	REVISION NO. B
SHEET SIZE:	A3	
DRAWN:	BS	
PRINTED:	22 Dec 2021	
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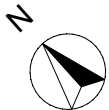


DETAIL | Bedding and Backfilling

SETTING OUT:
Section boundaries as shown were obtained from information received and may not be accurate. Contractor to locate and verify boundary pegs prior to setting out. Any discrepancies to be reported before construction may commence.

SERVICES:
Foul water placement information not available at this stage. Drainlayer to verify position prior to placement of drains. Access point to be provided to drains immediately inside the boundary.

SEDIMENT MANAGEMENT:
Sediment fencing to be positioned as required. Contractor to regularly remove any collected sediment to prevent it flowing off site.



Lot 208

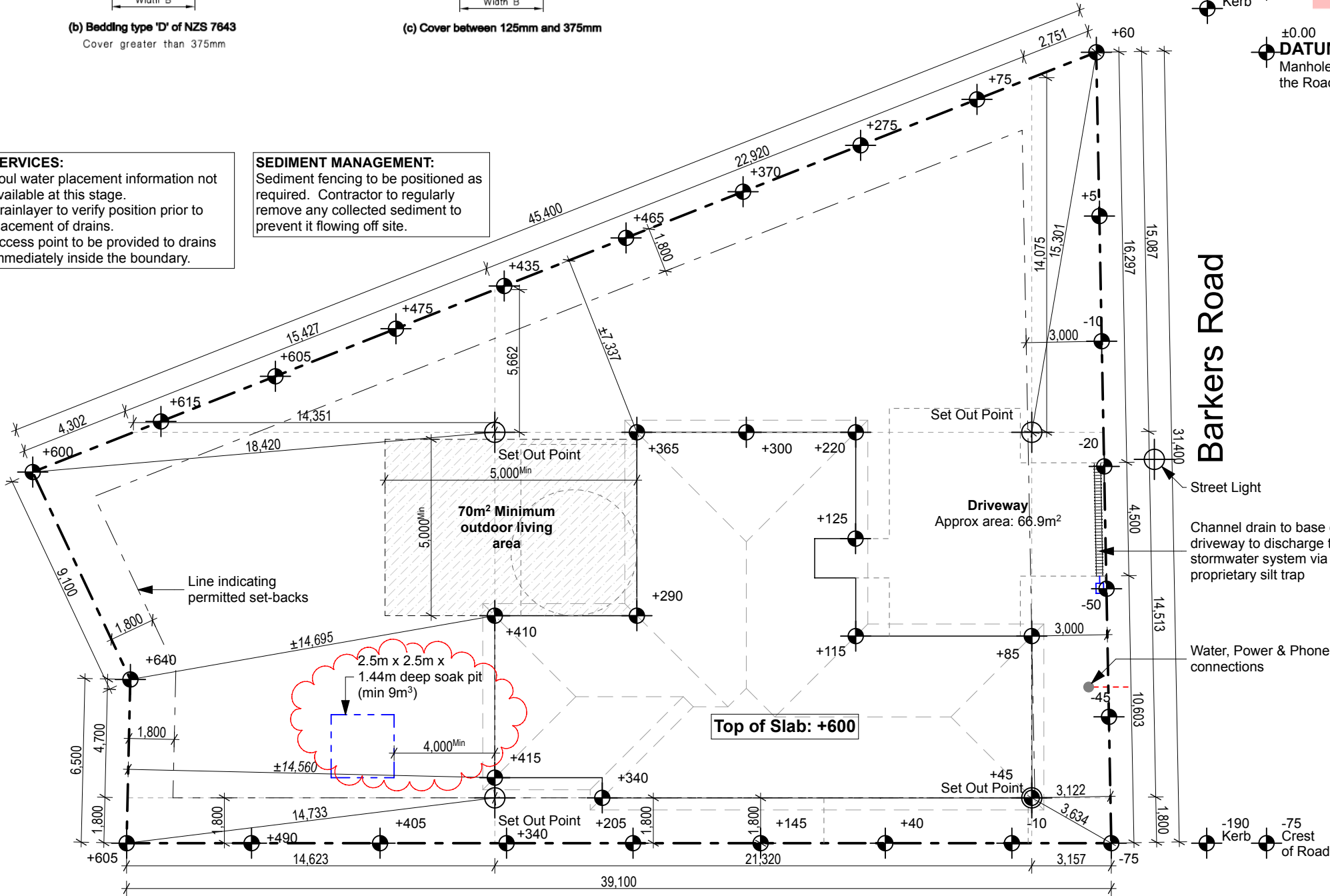
Site Coverage	
Section Area	942.68m ²
Over Foundation	205.79m ²
Covered Area	2.53m ²
Coverage	22.10%
Permitted Max	35.00%

IMPORTANT:
The finished ground level adjoining the concrete floor slab shall be formed so as to carry water away from the building, at a slope of not less than 1 in 25, for a distance of at least 1m from the building.

STORMWATER TO HARDSTAND AREAS:
Hardstand areas do not form part of this building consent, but when installed should comply with the requirements of the NZ Building Code, specifically:
- Contractor to ensure stormwater falls away from the dwelling with a gradient of minimum 1:50. Stormwater to discharge to the garden/lawn on either side.

CONSTRUCTION SAFETY:
Enclose work-site with temporary 2m high construction link mesh fencing with lockable gates to prevent site access by unauthorised persons and children. If in place, ensure existing boundary fencing to sides and rear of section is adequate to prevent site access by unauthorised persons and children.

Ensure toeboards for preventing objects falling off storage or access platforms are at least as high as the materials stacked on the platform, and no less than 100 mm above the platform. The maximum gap between platform and toeboard shall not exceed 10mm.



SITE PLAN

SCALE 1:200 (A3)

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Site Plan

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A01

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Foundation Plan

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A02

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IMPORTANT:
This drawing to be read in
conjunction with the Engineer's
drawings and details.

DIMENSIONS:
All dimensions are linear
measurements, unless noted
otherwise.

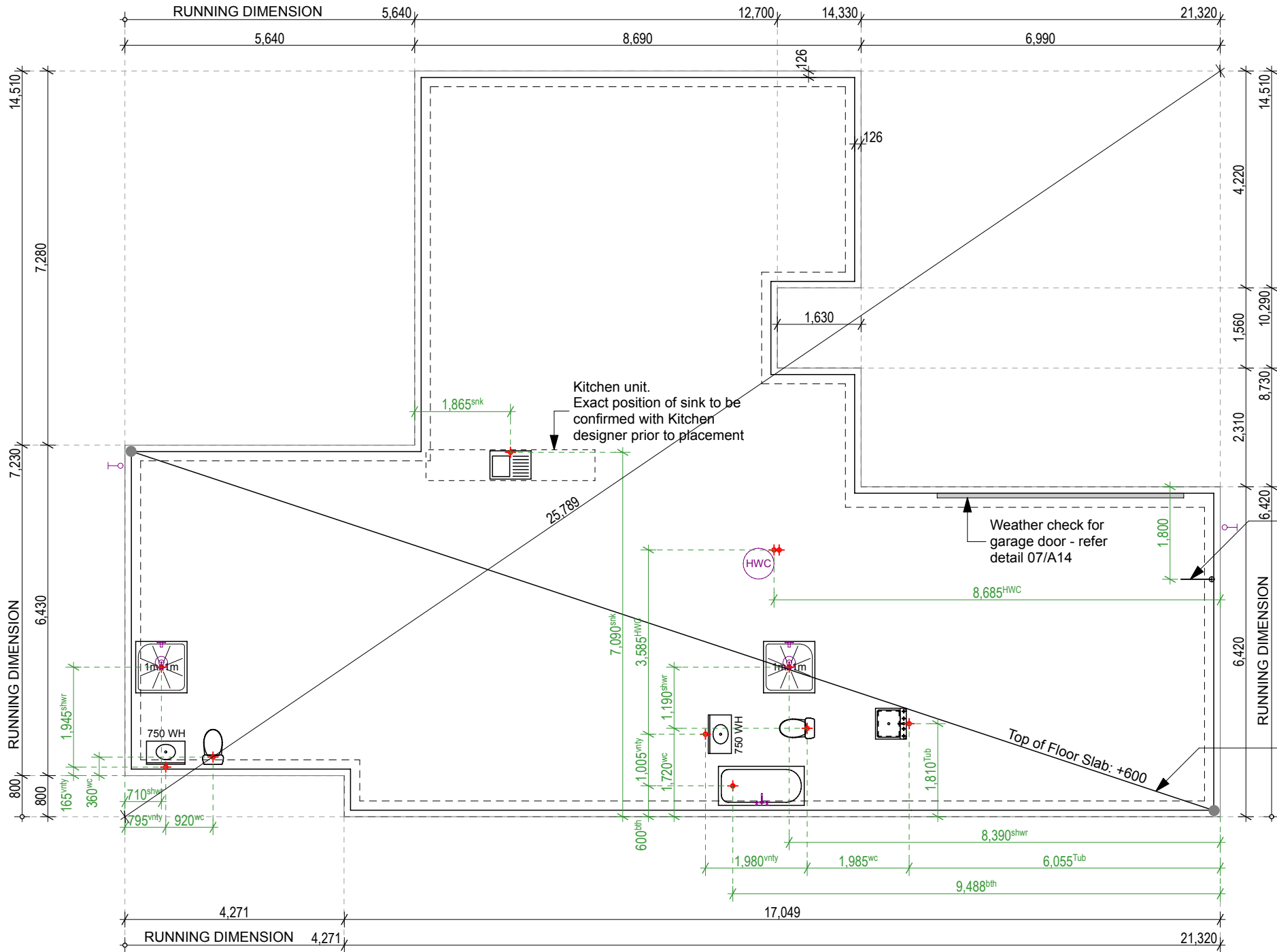
SERVICES:
Install 50mmØ Alkathene ducts
as required for polyethylene
water main, TPS 16mm2
neutral screened mains cable,
and the fibre pro active ducting.
Power and water supply
conduits to be separated by
min 100mm.

Note:
Wastes to vanities and Laundry
tub to be positioned in walls -
refer plan (sheet A04)

R10 Starter bar connected to
mesh to earth Meterbox to slab.
All as per Electrician's details
and specifications.

Floor Area: 205.8m²
(over foundations)

Super Slab floor system on
250mu polythene DPM, on
20mm sand blinding.
All as per Engineer's details.



FOUNDATION PLAN
SCALE 1:100 (A3)

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Plumbing & Drainage

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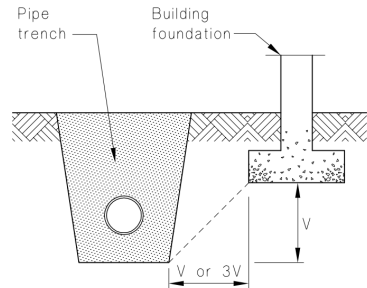
A03

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REVISION NO.

-

Relationship of pipe trench to building foundation



Pipe trenches which are open
for no longer than 48 hours
shall be located no closer than
V to the underside of any
building foundation.
Where the trench is to remain
open for periods longer than 48
hours the minimum horizontal
separation shall increase to 3V
in all ground except rock.

WASTE PIPE DIAMETER AND GRADIENTS

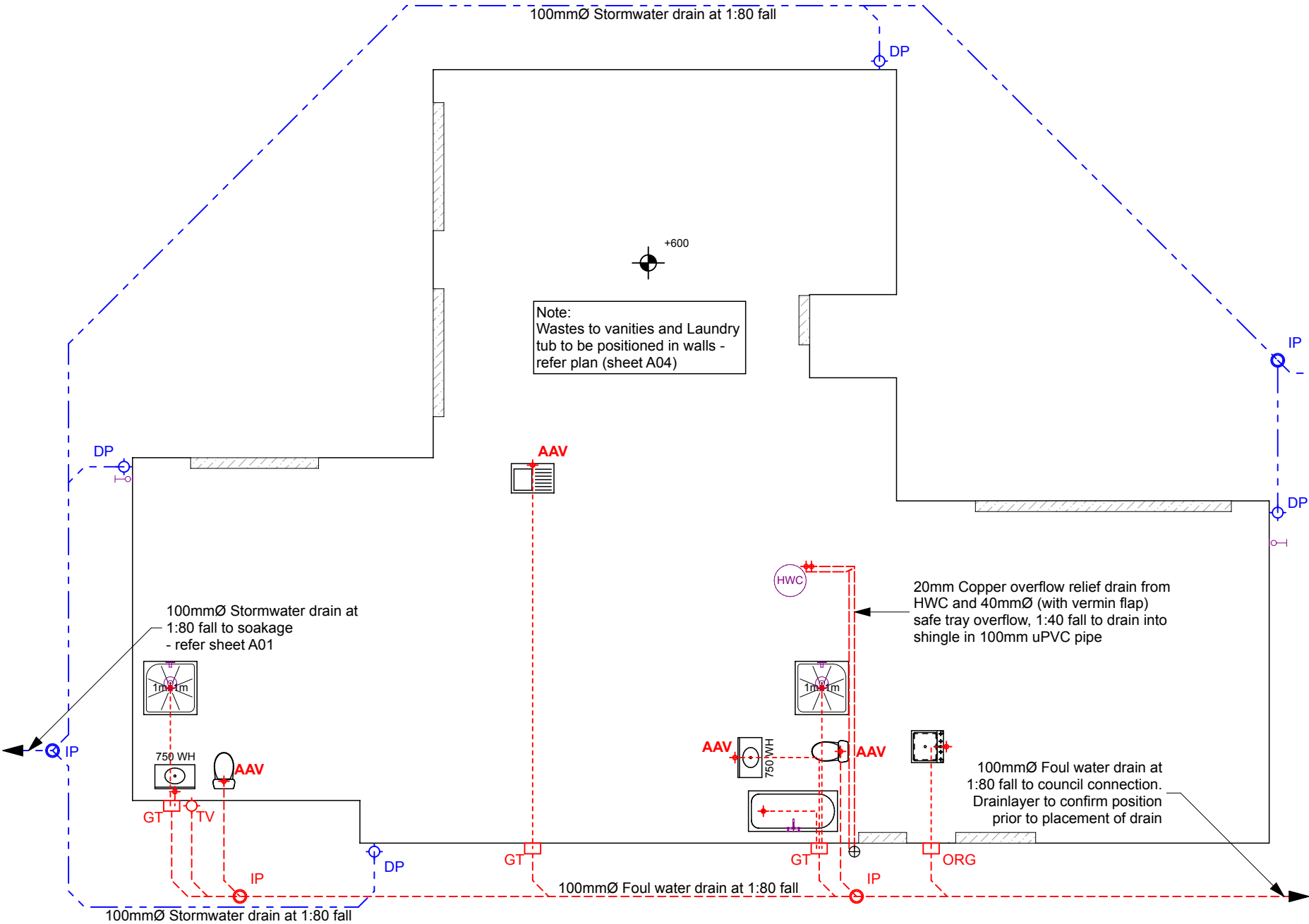
Unless noted otherwise, all waste pipes to:
- Sanitary fittings (except WCs) shall be 40mmØ at 1:40 fall,
- Laundry fittings shall be 40mmØ at 1:30 fall,
- Kitchen sinks shall be 50mmØ at 1:40 fall
IMPORTANT: All fixtures more than 3.5m from gully traps shall be
fitted with air admittance valves.
80mmØ wastes from soil fixtures (WCs) to have minimum 1:60
gradient.

PLUMBING & DRAINAGE NOTES:

1. Plumbing designed to G13/AS1 and drainage to G13/AS2 of the New Zealand Building Code.
2. All levels & connection points to be confirmed by a registered Drainlayer on site before commencement of any work. Drainlayer to confirm to the designer and client whether a sewer pump and / or bubble-up chamber may be required
3. Mains water supply from Road - 25mm polybutylene. Flow rates in accordance with G12/AS1 (Table 3).
4. Pipe diameters to G12/AS1 (Table 4). Note the pipe from the hot water source to the Kitchen sink to be max 15mmØ with lagged insulation along its entire length.
5. 32 - 50mmØ uPVC pipes shall be supported at 0.5m centres and 65 - 100mmØ uPVC pipes supported at 1m centres.
6. All pipework shall incorporate expansion joints as per AS/NZS 2032 and NZBC G13/AS1 to accommodate the expected longitudinal movement in pipes resulting from temperature changes.
7. Rigid pipes shall have flexible joints to resist damage from differential settlement.
8. Fill materials to bedding and backfilling of drains shall be bedding material of clean granular non-cohesive material or selected fill of fine-grained soil or granular material free from topsoil or rubbish, with a maximum particle size of 20mm.
9. Ensure minimum 350mm cover to head of soil pipes. Gully traps to be minimum 25mm above paved surfaces, 100mm above unpaved surfaces.
10. Access points shall be provided at every change in horizontal direction of greater than 45°, and every change in gradient greater than 45°.
11. When passing through concrete, drains and wastes shall be sleeved or wrapped in a durable and flexible material to allow for expansion and contraction where passing through concrete. Ensure that at supports, and at wall and floor penetrations not incorporating expansion joints, movement shall be accommodated using pipe sleeves or a durable and flexible lagging material.
In addition, drains passing beneath buildings with a concrete slab on the ground floor shall:
 - Be straight and of even gradient,
 - Be separated from the building foundation by at least 25mm,
 - Have 50mm clearance from the top of the pipe to the underside of the slab, and bedded in loose fill,
 - Have access points within 2m of either side of slab,
 - Have junctions beneath the building joining at an angle of not more than 45°.
12. Stormwater strip drain to be located at the base of the driveway. Contractor to ensure falls on driveway directs stormwater run off into the drain.

LEGEND

- 100mmØ Stormwater drain at 1:80 gradient
- 100mmØ Foul sewer drain at 1:80 gradient
- DP COLORSTEEL (Min 74mmØ Int) downpipe
- TV 80mmØ uPVC Terminal vent
- GT Gully Trap
- ORG Overflow Relief Gully
- IP Inspection Point
- AAV Air admittance valve
- HWC Mains pressure hot water cylinder (with safe tray in accordance with G12/AS1)
- HT Hose Tap (owner to confirm positions)
- Positions of external doorways



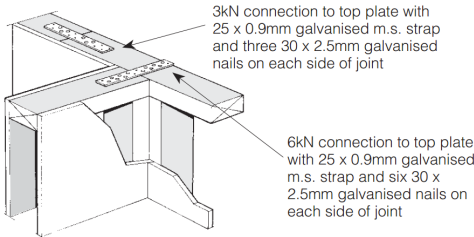
PLUMBING & DRAINAGE PLAN

SCALE 1:100 (A3)

TOP PLATE CONNECTIONS

The top plate of a wall that contains one or more wall bracing elements shall be jointed according to the rating of the highest-rated individual wall bracing element as follows:

- (a) Rating not exceeding 100 bracing units: A 3kN connection as shown or by an alternative fixing of 3kN capacity in tension or compression along the plate;
- (b) Rating exceeding 100 bracing units: A 6kN connection as shown or by an alternative fixing of 6kN capacity in tension or compression along the plate.

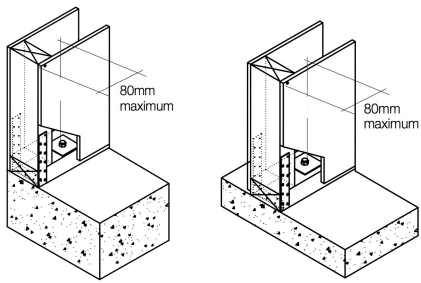


Each wall that contains one or more wall bracing elements shall be connected at the top plate level, either directly, or through a framing member in the line of the wall, to external walls at right angles to it. Top plate fixing(s) of the capacity in tension or compression along the line of the wall bracing element are given as follows:

- (a) For each wall containing wall bracing elements with a total bracing capacity of not more than 125 bracing units: to at least one such external wall by a fixing as shown of 6 kN capacity;
- (b) For each wall containing wall bracing elements with a total bracing capacity of not more than 250 bracing units: to at least 2 external walls by fixings as shown each of 6 kN capacity;
- (c) For each wall containing wall bracing elements with a total bracing capacity of more than 250 bracing units: to at least 2 external walls by fixings as shown each having a rating of not less than 2.4 kN per 100 bracing units.

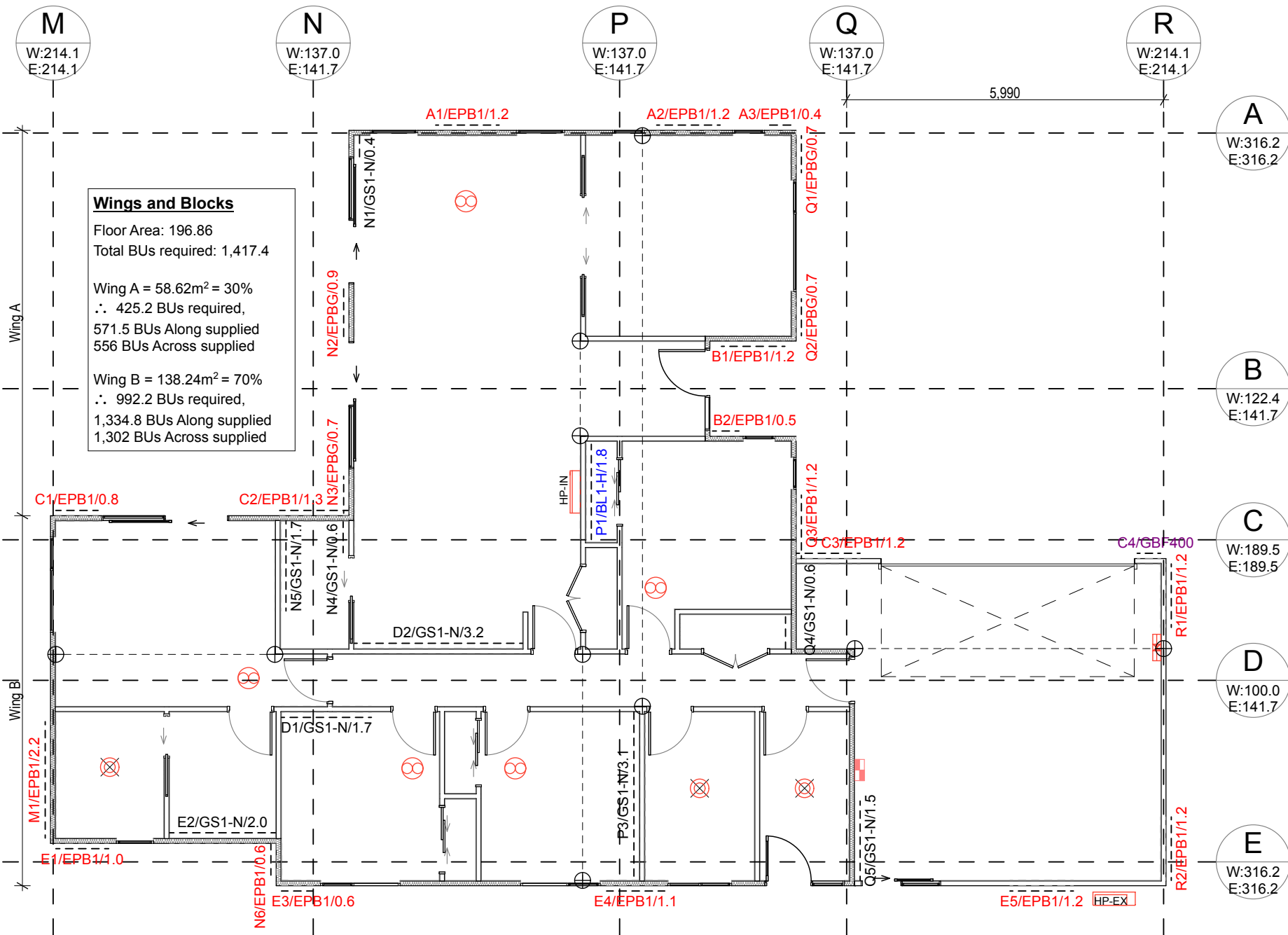
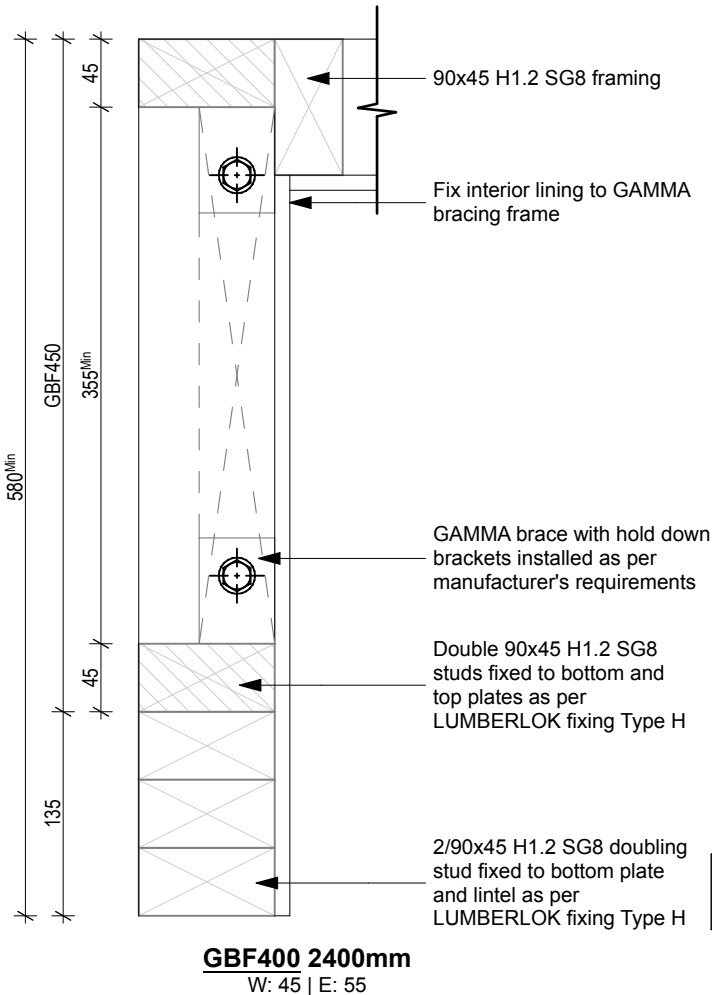
BRACING NOTES:

- 1. Contractor to ensure all penetrations to bracing units are in accordance with specific manufacturer's requirements.
- 2. Use LUMBERLOK Framing Stud Stiffener where holes are drilled for plumbing in 90x45mm studs in braced walls to replace the strength of the studs.
- 3. Internal walls connected to external walls with 140x35 H1.2 SG8 top plate with fixing capacity of 6kN where indicated: ⊕ ----- ⊕ Where possible, use bottom chord of truss.
- 4. Use 10mm GIB Aqualine where GS1-N bracing is specified in bathrooms, WCs, laundry and kitchen spaces.



External Walls	Internal Walls
Bracing Straps	
Position GIB HandiBrac® as close as practicable to the internal edge of the bottom plate.	Position GIB HandiBrac® at the stud/plate junction and at mid-width of plate.
Hold-down fastener requirements	
A mechanical fastening with a minimum characteristic uplift capacity of 15kN or use supplied BT10/140 screwbolt in GIB HandiBrac® pack.	

GIB HandiBrac
DETAIL | Panel Hold-down



BRACING PLAN
SCALE 1:100 (A3)

01 DETAIL | Gamma Bracing
SCALE 1:5 (A3)

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Bracing Plan

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Bracing Details

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BRACING CALCULATIONS

TABLE: Default

Location of Storey	Single
Room in Roof Space	No
Building Width (BW)	14.3m
Building Length (BL)	21.1m
Gross Floor Area (GFA)	196.86m²
Floor Height to Apex	5m
Roof Height Above Eaves	2m
Roof Pitch	0 - 25°
Roof Style	Hip
Double Top Plate	Yes
Floor Load	2kPa
Cladding Weights:	
- Subfloor	Concrete Floor
- Wall	Heavy
- Roof	Light
Wind Zone	Very High
Earthquake Zone	2
Soil Class	E - Very Soft
W along	65.0BU/m
W along x BW	927.6BU
W across	65.0BU/m
W across x BL	1,370.2BU
EQ	7.2BU/m²
EQ x GFA	1,417.4BU

BRACING ALONG

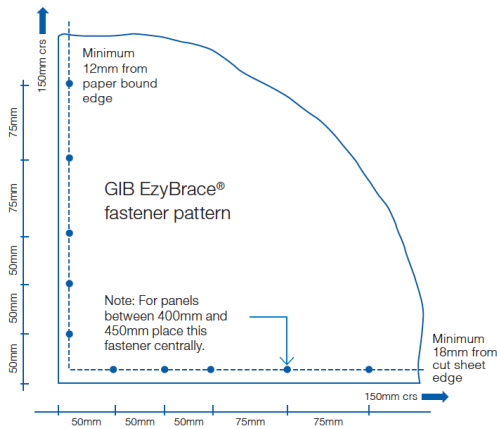
Required		Provided								Achieved	
Line	W BU	EQ BU	Brace Type	W BU/m	EQ BU/m	Length m	Height m	Angle		W BU	EQ BU
A	316.2	316.2	A-1 EPB1	120.0	135.0	1.2	2.4	-		144.0	162.0
			A-2 EPB1	120.0	135.0	1.2	2.4	-		144.0	162.0
			A-3 EPB1	80.0	95.0	0.4	2.4	-		32.0	38.0
										320.0	362.0
B	122.4	141.7	B-1 EPB1	120.0	135.0	1.2	2.4	-		144.0	162.0
			B-2 EPB1	80.0	95.0	0.5	2.4	-		40.0	47.5
										184.0	209.5
C	189.5	189.5	C-1 EPB1	95.0	105.0	0.8	2.4	-		76.0	84.0
			C-2 EPB1	120.0	135.0	1.3	2.4	-		156.0	175.5
			C-3 EPB1	120.0	135.0	1.2	2.4	-		144.0	162.0
			C-4 GBF400	-	-	0.5	2.4	-		45.0	55.0
										421.0	476.5
D	100.0	141.7	D-1 GS1-N	70.0	60.0	1.7	2.4	-		119.0	102.0
			D-2 GS1-N	70.0	60.0	3.2	2.4	-		222.6	190.8
										341.6	292.8
E	316.2	316.2	E-1 EPB1	95.0	105.0	1.0	2.4	-		95.0	105.0
			E-2 GS1-N	70.0	60.0	2.0	2.4	-		140.0	120.0
			E-3 EPB1	95.0	105.0	0.6	2.4	-		57.0	63.0
			E-4 EPB1	95.0	105.0	1.1	2.4	-		104.5	115.5
			E-5 EPB1	120.0	135.0	1.2	2.4	-		144.0	162.0
										540.5	565.5
Total						Achieved		Required		1,807.1	1,906.3
										927.6	1,417.4

BRACING ACROSS

Required		Provided								Achieved	
Line	W BU	EQ BU	Brace Type	W BU/m	EQ BU/m	Length m	Height m	Angle		W BU	EQ BU
M	214.1	214.1	M-1 EPB1	120.0	135.0	2.2	2.4	-		264.0	297.0
										264.0	297.0
N	137.0	141.7	N-1 GS1-N	50.0	55.0	0.4	2.4	-		20.0	22.0
			N-2 EPBG	100.0	115.0	0.9	2.4	-		90.0	103.5
			N-3 EPBG	100.0	115.0	0.7	2.4	-		70.0	80.5
			N-4 GS1-N	50.0	55.0	0.6	2.4	-		30.0	33.0
			N-5 GS1-N	70.0	60.0	1.7	2.4	-		119.0	102.0
			N-6 EPB1	95.0	105.0	0.6	2.4	-		57.0	63.0
										386.0	404.0
P	137.0	141.7	P-1 BL1-H	125.0	105.0	1.8	2.4	-		225.0	189.0
			P-3 GS1-N	70.0	60.0	3.1	2.4	-		217.0	186.0
										442.0	375.0
Q	137.0	141.7	Q-1 EPBG	100.0	115.0	0.7	2.4	-		70.0	80.5
			Q-2 EPBG	100.0	115.0	0.7	2.4	-		70.0	80.5
			Q-3 EPB1	120.0	135.0	1.2	2.4	-		144.0	162.0
			Q-4 GS1-N	50.0	55.0	0.6	2.4	-		30.0	33.0
			Q-5 GS1-N	70.0	60.0	1.5	2.4	-		105.0	90.0
										419.0	446.0
R	214.1	214.1	R-1 EPB1	120.0	135.0	1.2	2.4	-		144.0	162.0
			R-2 EPB1	120.0	135.0	1.2	2.4	-		144.0	162.0
										288.0	324.0
Total						Achieved		Required		1,799.0	1,846.0
										1,370.2	1,417.4

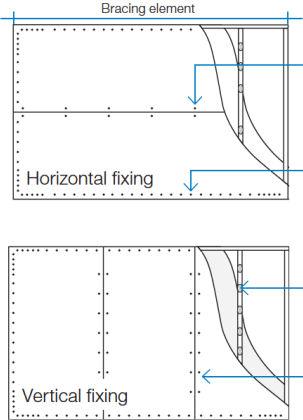
Calculations based on
NZS3604:2011

BRACING CALCULATIONS

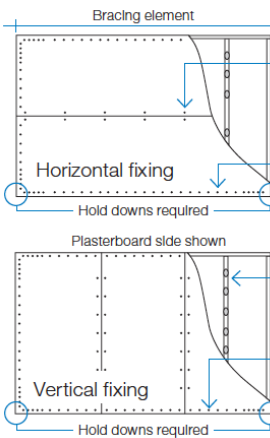


GIB EzyBrace fastener pattern

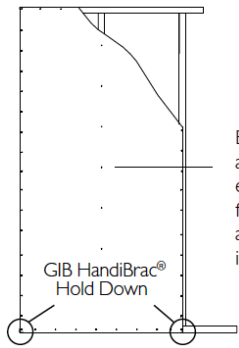
In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow the specifications. This specification sheet is issued in conjunction with the publication GIB EzyBrace® Systems



GS1-N (10mm GIB Standard - lined one side)
GS2-N (10mm GIB Standard - lined both sides)



BL1-H (lined one side)

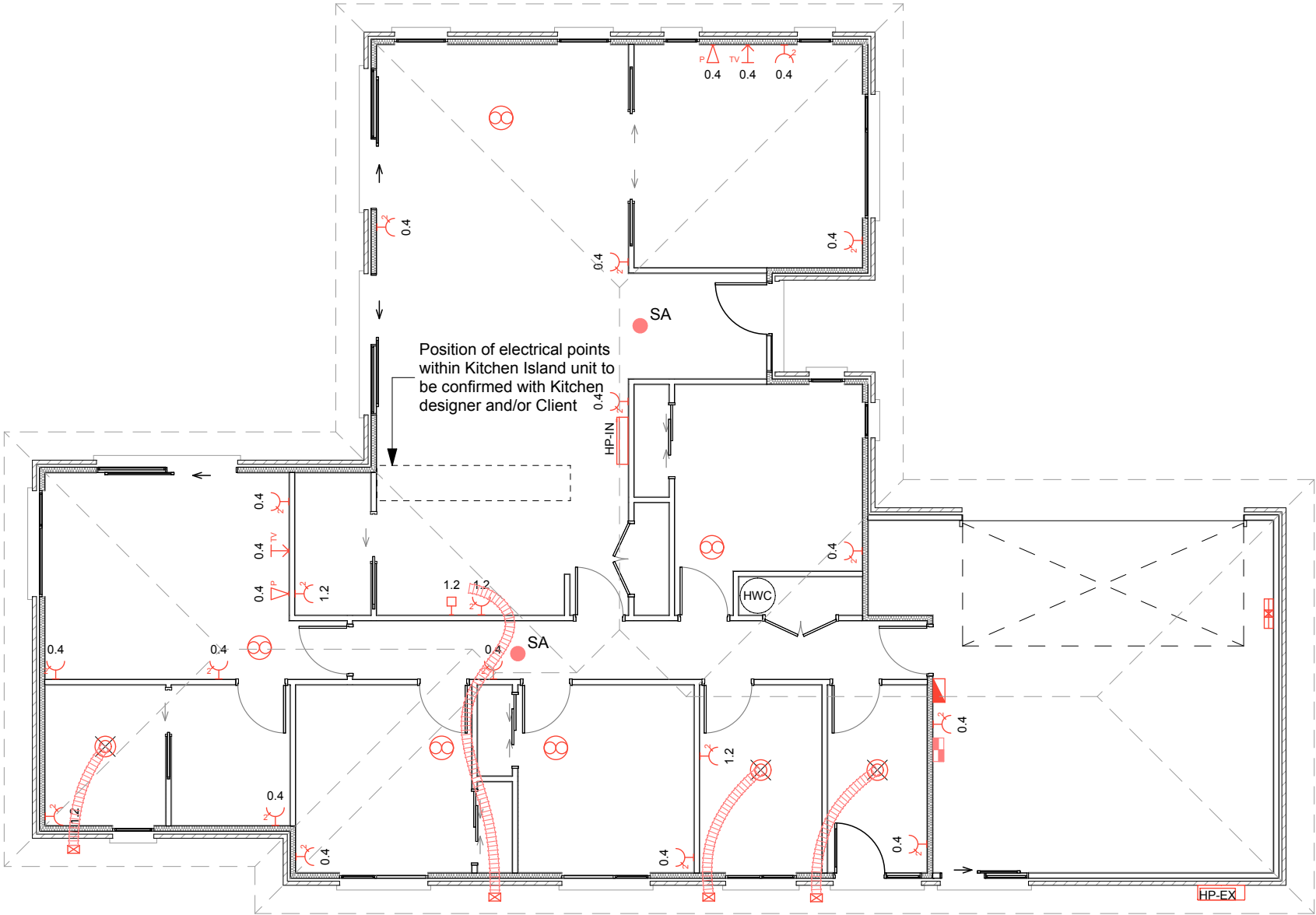


ECOPLY Fixing

Ecoply® fixed with 50 x 2.8 mm nails
at 150 mm centres to perimeter of
each sheet at no less than 7 mm or 3
fastener diameters from sheet edge
and at 300 mm centres to
intermediate studs

DETAIL | Bracing Fixing

IMPORTANT:
Contractor to take note of braced walls and ensure any penetrations to bracing units are in accordance with specific manufacturer's requirements.
Contractor to liaise with the electrician as final positions of power and light fittings may differ from this plan.



ELECTRICAL PLAN
SCALE 1:100 (A3)

ELECTRICAL NOTES
Single power points to be installed for:
- Oven - Hob
- Fridge - Dishwasher
- Garage door opener - Microwave
Confirm all points, including hob and oven, with Kitchen Designer prior to placement
Install a Range Hood (as per Owners' selection) extracted directly to the outside, in accordance with manufacturer's and E2/AS1 requirements.

- LEGEND**
- 0.4 Single Switched Power Point
 - 0.4 Double Switched Power Point
 - 1.2 Isolator Switch
 - 0.4 Phone Jack Point
 - 0.4 Television Jack Point
 - Mechanical extraction fan with ducting to external soffit egg grate grilles
 - HWC Hot Water Cylinder
 - Meter Board
 - Distribution Board
 - Garage Door Control Point
 - HTR Heated Towel Rail
 - SA Smoke Alarm
 - WMH Wall Mounted Heater
 - HP-IN Heat pump system - Internal unit
 - HP-EX Heat pump system - External unit
 - Single duct heat transfer from logburner

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Electrical Plan

JOB No: 860742
SHEET SIZE: A3
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A07

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IMPORTANT:
Contractor to take note of braced walls and ensure any penetrations to bracing units are in accordance with specific manufacturer's requirements.
Contractor to liaise with the electrician as final positions of power and light fittings may differ from this plan.

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Christchurch District Council

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Lighting Plan

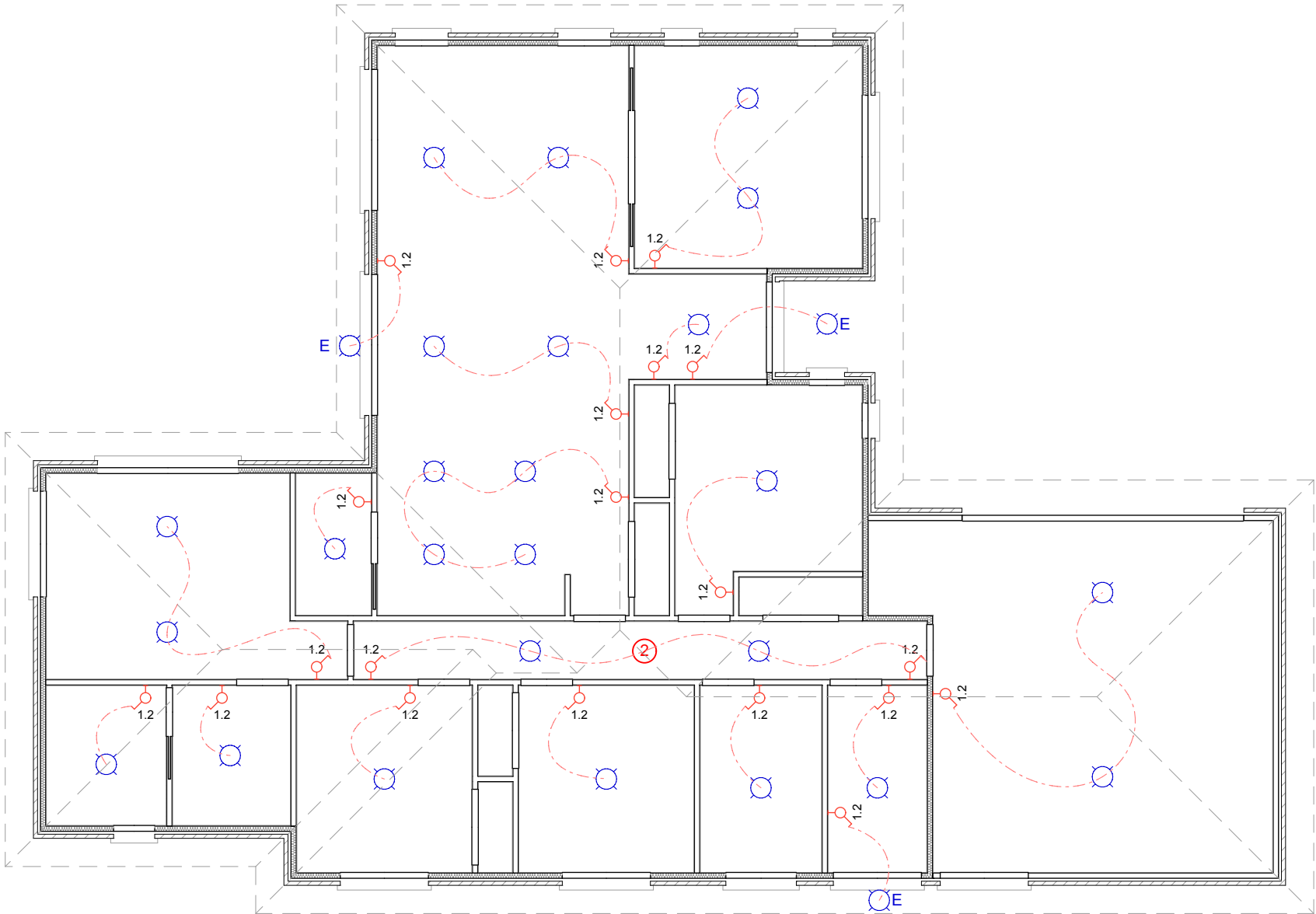
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REFLECTED LIGHTING PLAN
SCALE 1:100 (A3)

LEGEND

1.2

Light Switch

2

Two way Light Circuit

3

Three way Light Circuit

D

Dimmer Control to Circuit

Recessed LV Downlight

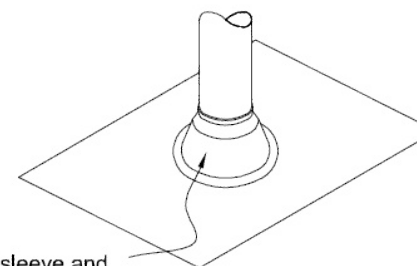
Recessed LED Downlight

Wall Mounted Light

Hanging Pendant Halogen Light

Exterior Recessed Eave Light

Exterior Wall Light

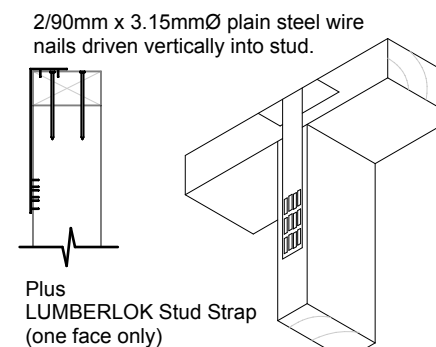


DETAIL | Roof Penetration (TV)

CONSTRUCTION NOTES

All top plate to top plate junctions to have 6kN fixings.

All Stud to Top Plate fixings to external walls and internal load bearing walls to be 4.7kN fixings as per below:



LUMBERLOK Type B Fixing
4.7kN

All materials must be installed in accordance with manufacturer's requirements.

3.2.1 Pressed metal tiles on 50x40 H1.2 battens at 370crs over THERMAKRAFT Covertex 401 Synthetic self supporting over 70x45 H1.2 SG8 purlins (fixed with 1/10g self-drilling screw, 80mm long) at 900crs over trusses at 900crs.

3.2.2 COLORSTEEL fascia with DIMOND Quad SI rainwater system fitted with snow straps. Minimum 50mm overhang of roofing bent down at edge.

3.2.3 Min 74mmØ (Int) COLORSTEEL downpipe

3.2.4 80mmØ uPVC Terminal Vent

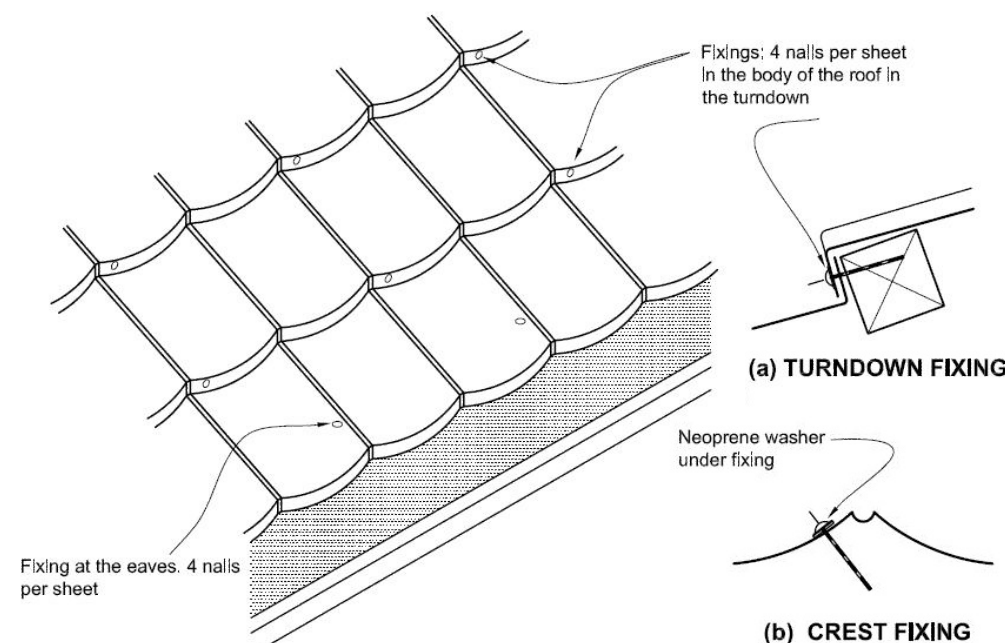
3.2.5 A diagonally opposing pair of continuous steel strips each having a capacity of 4.0 kN in tension, fixed to each top chord or rafter that is intersected, and to the top plate.

3.2.6 Continuous 90x19 H1.2 timber brace at 45° to the ridge line, in the plane of the roof and continuous from the ridge to the supporting wall

4.2.1 Proprietary M/S flue flashed with DEKTITE or similar approved, braced back to roof as per specialist's recommendations.

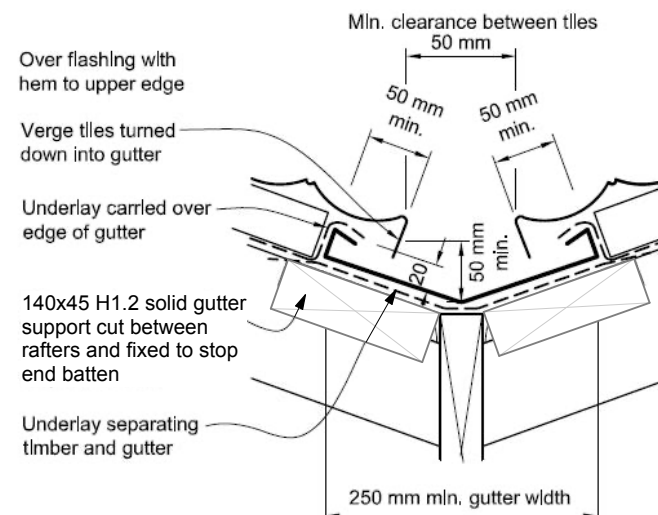
CLADDING NOTES

A row of battens fixed directly behind the fascia with the second batten 330mm up the Truss. Subsequent battens are spaced at 370mm. The final top row of tiles is 365mm or less, depending on whether the top row needs cutting due to rafter length

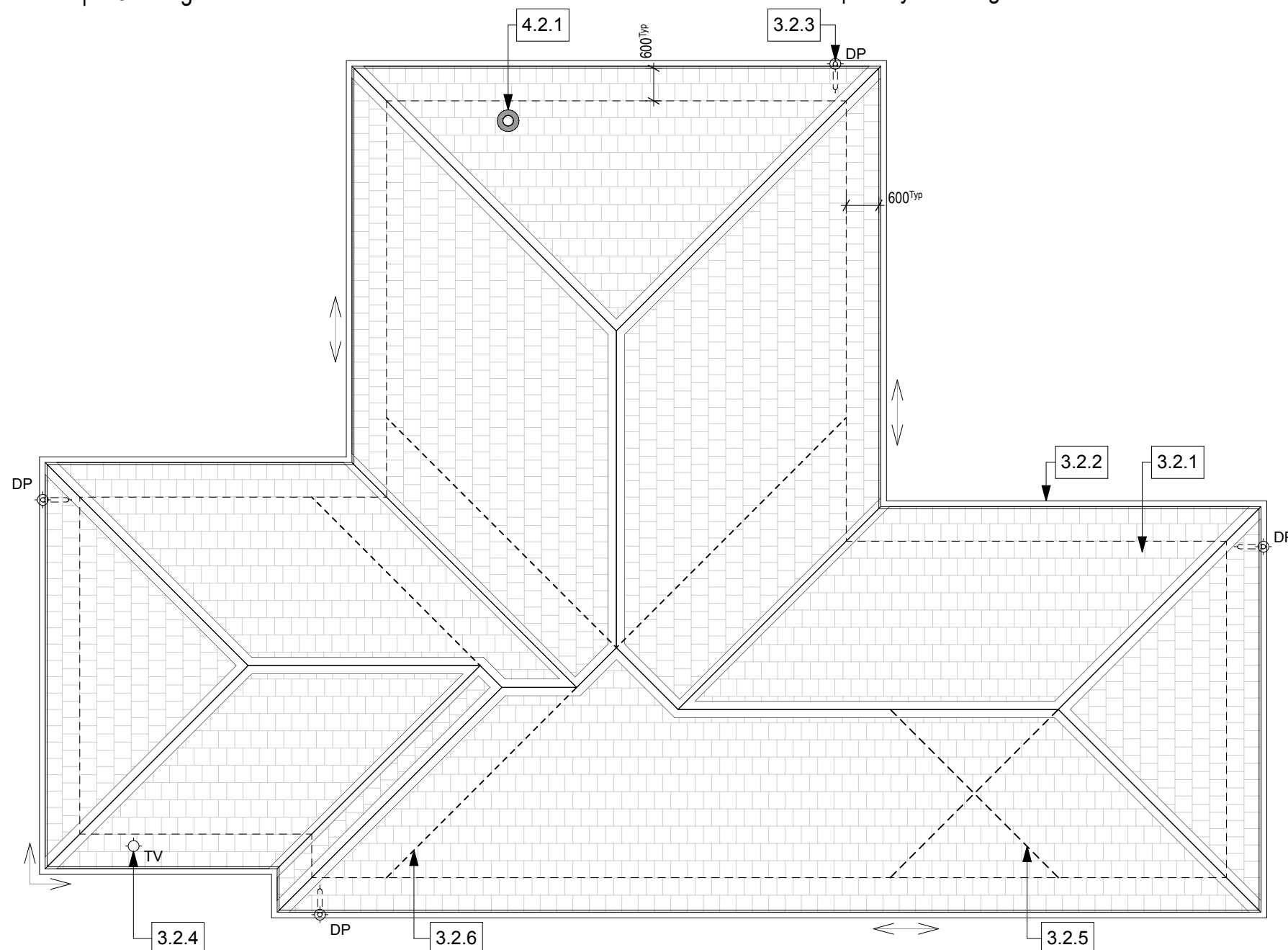


DETAIL | Tile Fixing

NOTE: (1) Refer to Table 8 for maximum roof catchment areas for *valley gutters*.
(2) Minimum width of *valley gutter* may reduce to 160 mm, providing roof catchment area is in accordance with Table 8. In this case, cover of tiles over gutter shall be reduced to 60 mm to provide a clearance between tiles of 40 mm.



DETAIL | Valley Flashing



ROOF PLAN

SCALE 1:100 (A3)

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Elevations

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BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		3

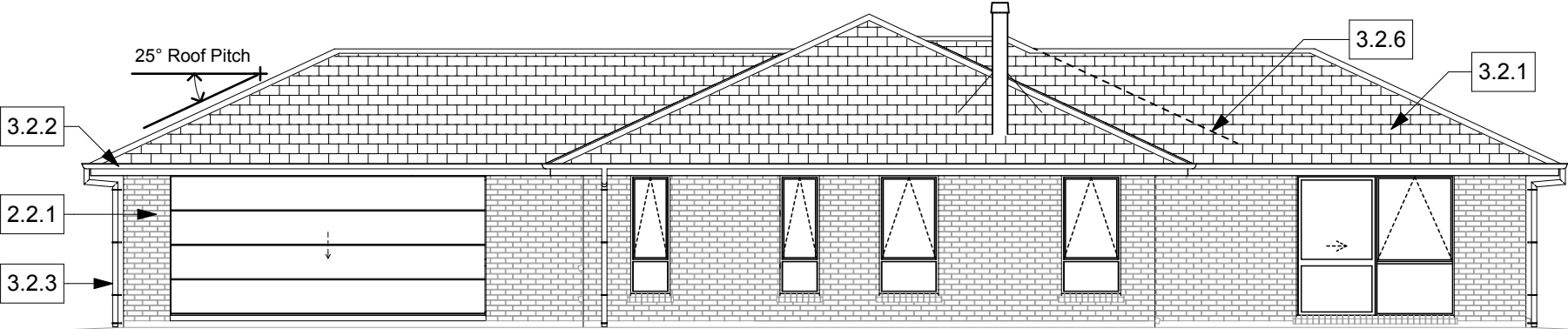
CONSTRUCTION NOTES

Details take precedent over other working drawings; any
discrepancies to be raised with GJ Gardner Homes
Christchurch South.

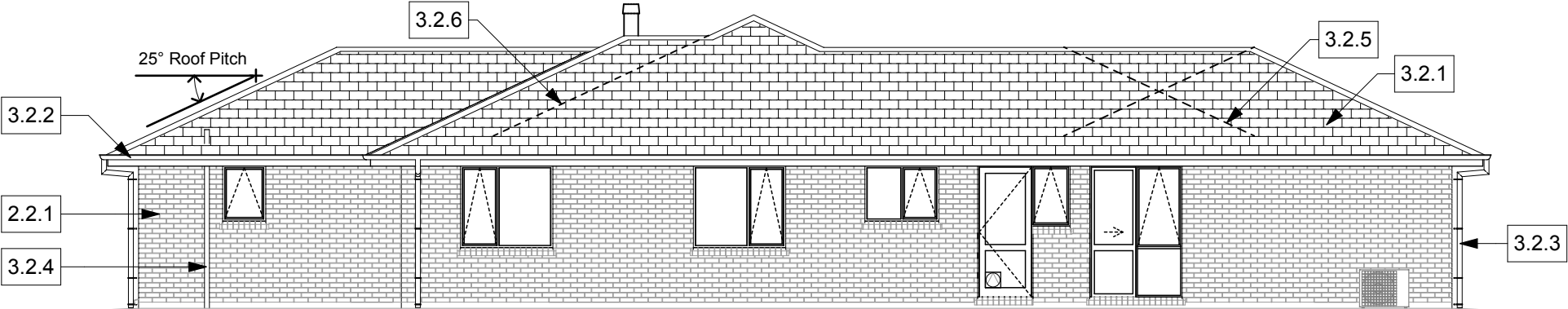
All materials must be installed in accordance with
manufacturer's requirements.

- 2.2.1 70 Series brick veneer with drained cavity on
ECOPLY 'Barrier' rigid air barrier on 90x45 H1.2
SG8 framing, studs at 400crs.
- 3.2.1 Pressed metal tiles on 50x40 H1.2 battens at
370crs over THERMAKRAFT Covertex 401
Synthetic self supporting over 70x45 H1.2 SG8
purlins (fixed with 1/10g self-drilling screw,
80mm long) at 900crs over trusses at 900crs.
- 3.2.2 COLORSTEEL fascia with DIMOND Quad SI
rainwater system fitted with snow straps.
Minimum 50mm overhang of roofing bent down
at edge.
- 3.2.3 Min 74mmØ (Int) COLORSTEEL downpipe
- 3.2.4 80mmØ uPVC Terminal Vent
- 3.2.5 A diagonally opposing pair of continuous steel
strips each having a capacity of 4.0 kN in
tension, fixed to each top chord or rafter that is
intersected, and to the top plate.
- 3.2.6 Continuous 90x19 H1.2 timber brace at 45° to
the ridge line, in the plane of the roof and
continuous from the ridge to the supporting wall
- 4.2.1 Proprietary M/S flue flashed with DEKTITE or
similar approved, braced back to roof as per
specialist's recommendations.

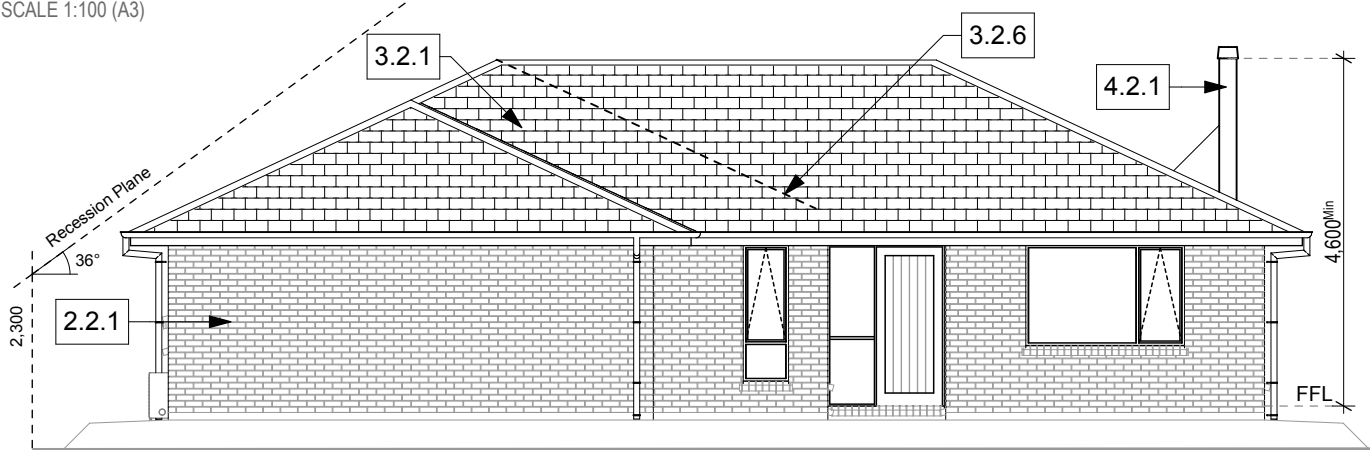
DO NOT SCALE FROM DRAWINGS



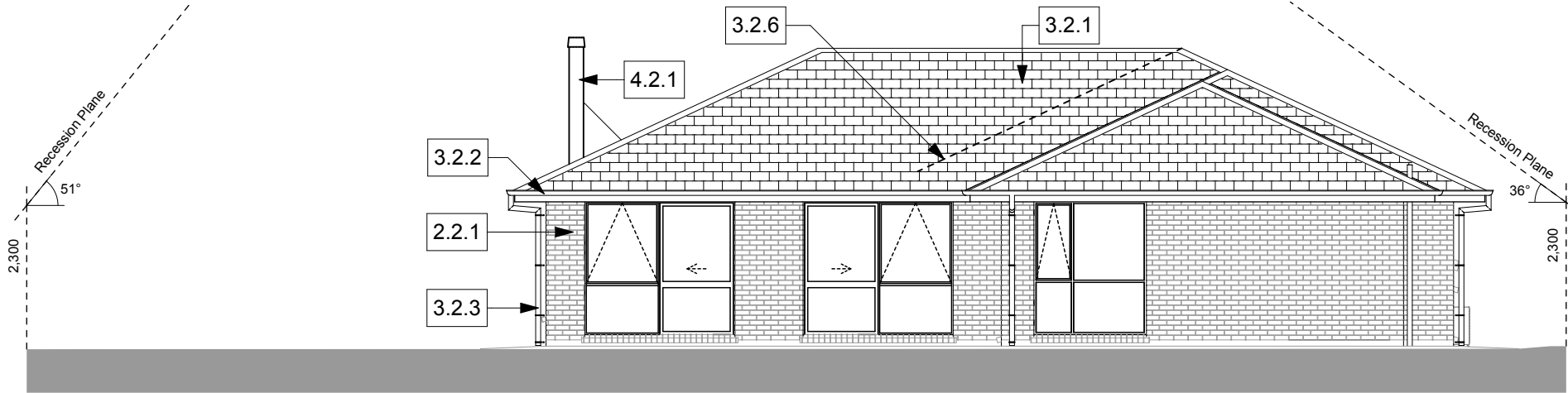
NORTH ELEVATION
SCALE 1:100 (A3)



SOUTH ELEVATION
SCALE 1:100 (A3)



EAST ELEVATION
SCALE 1:100 (A3)



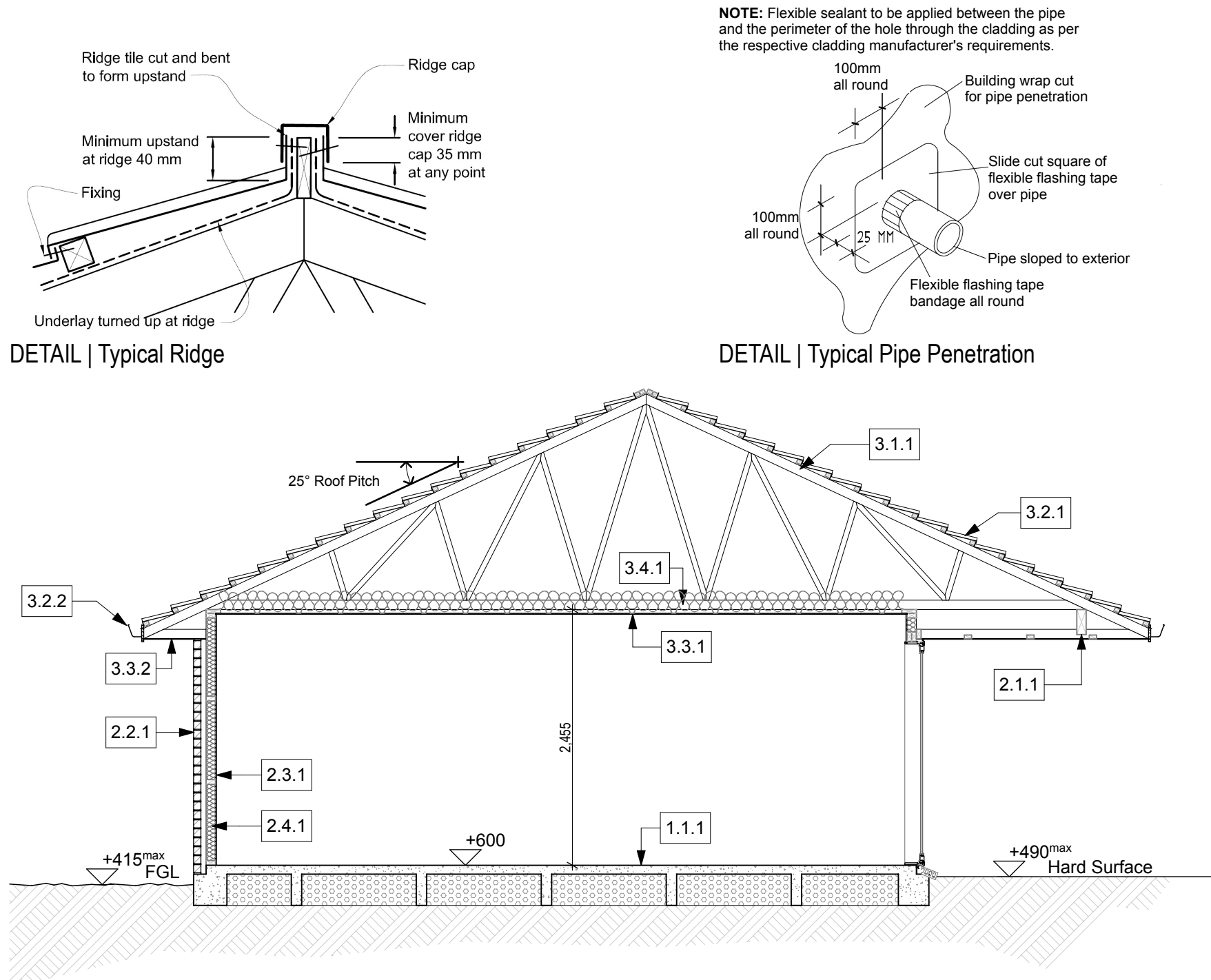
WEST ELEVATION
SCALE 1:100 (A3)

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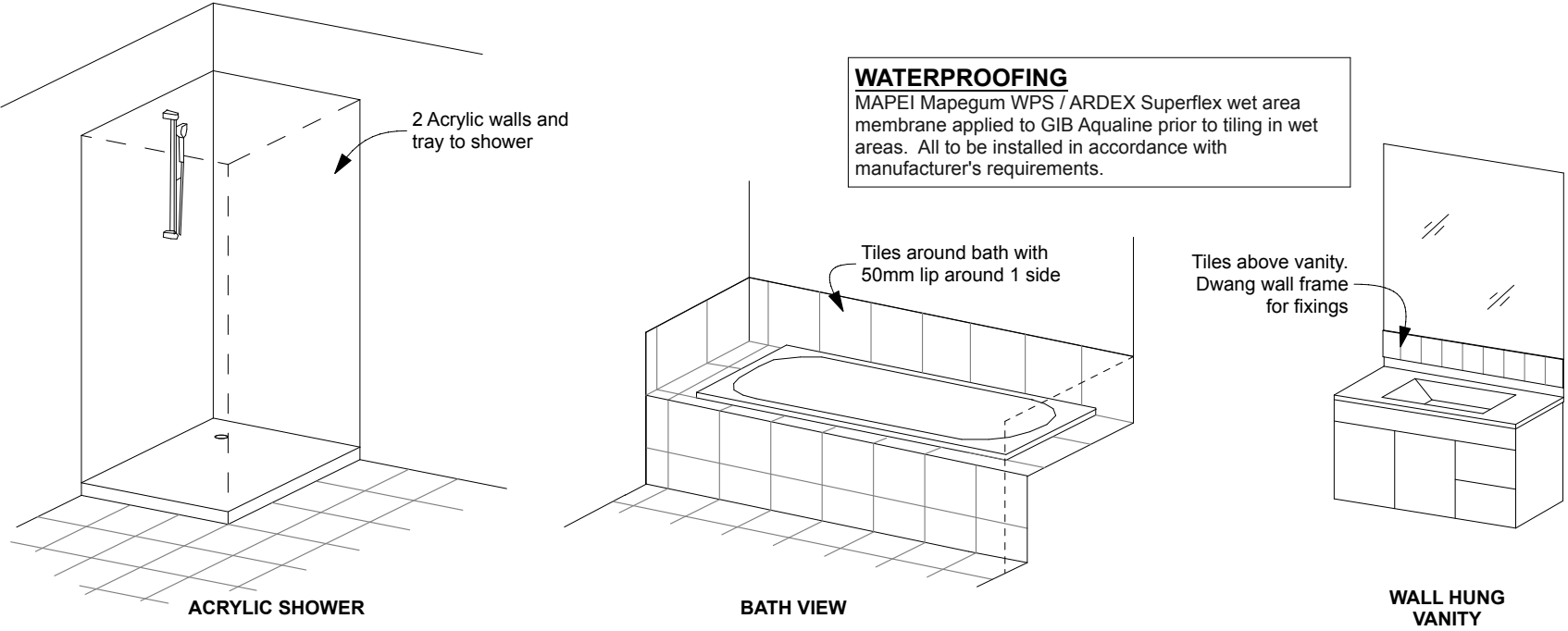
A11

REVISION NO.

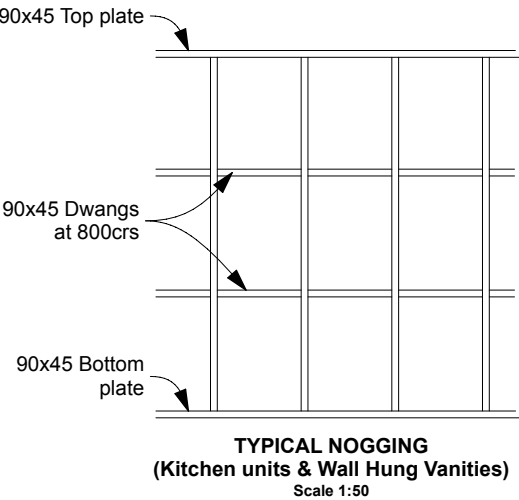
- i. All footings and slabs and related concrete and steelwork as per Engineer's details and requirements.
- ii. All joist hangers, wire dogs, bolts, washers, nails, screws and all other fixings to be galvanised, hot dipped. Except that stainless steel fixings and fastenings to be installed when using CCA treated timber.



Document Set ID: 683757
Version: 1, Version Date: 04/11/2023



3D Images are indicative only.
All materials, colours and finishes to be confirmed prior to manufacture and installation.



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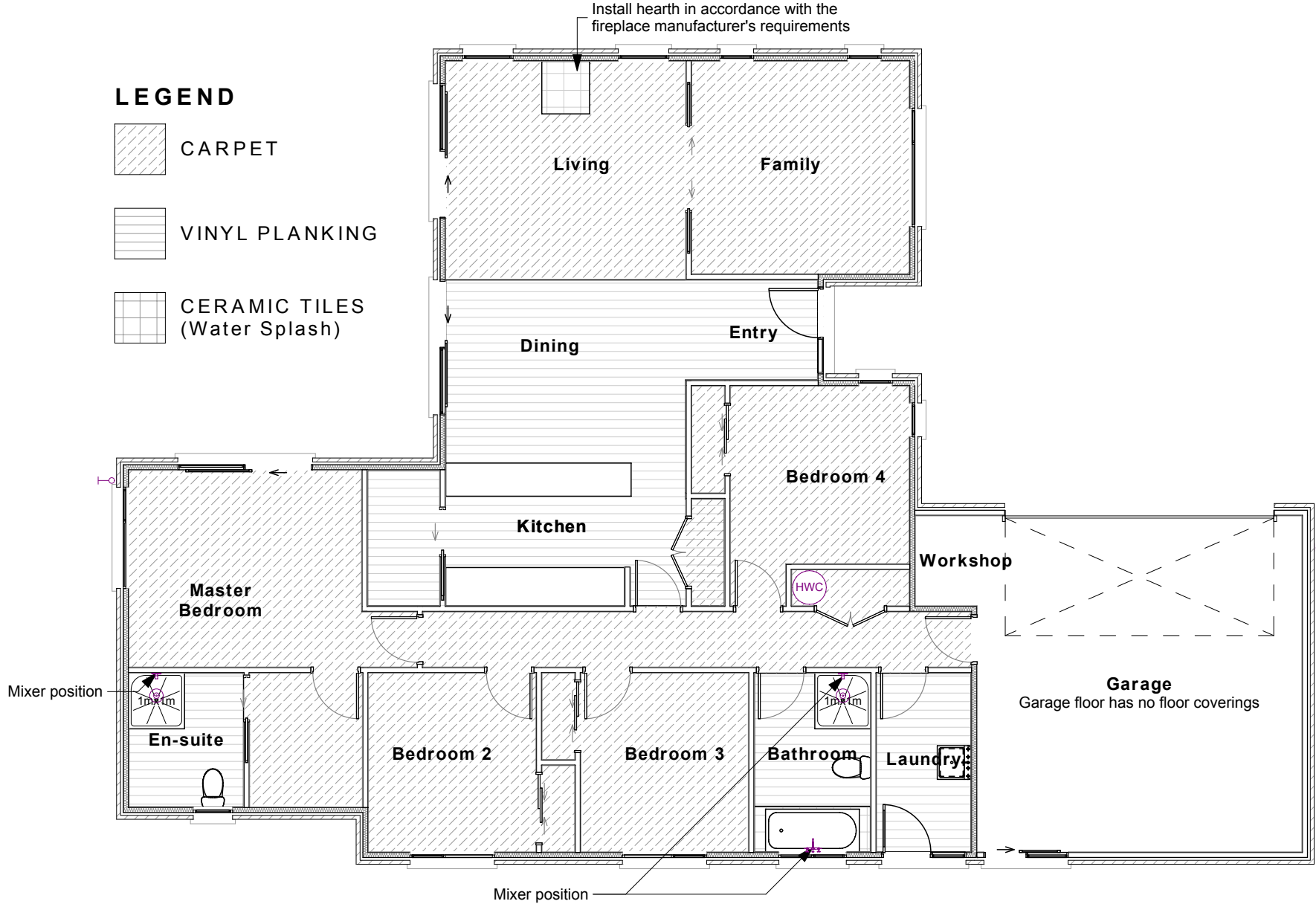
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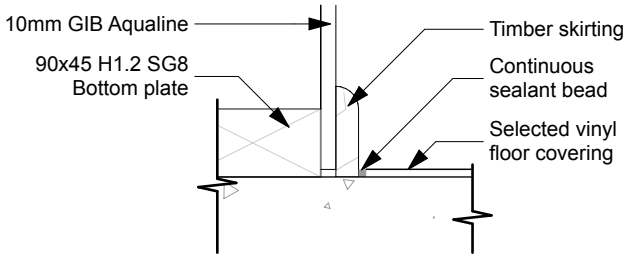
All Dimensions and levels are to be checked by contractor before commencement of work. Contractor to report any discrepancy.

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IMPORTANT
The delivered hot water temperature at any sanitary fixture used for personal hygiene shall not exceed 55°
Min 180L HWC to be installed

HUMAN IMPACT SAFETY REQUIREMENTS
Glazing in bathrooms and en-suites shall be safety glass:
- Fully framed windows and shower doors, screens and enclosures shall be safety glass as per NZS4223.3:2016 Table 1.
- Unframed panes or panels or shower doors using pivots or hinges shall be toughened safety glass of not less than 6mm thickness.
Mirror and glass wall cladding within 2,000mm of the floor level shall be safety glass, unless the glass is fully backed and completely adhered to a solid material.



DETAIL | Floor / Wall Junction
SCALE 1:5 (A3)

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Finishes Plan

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FINISHES PLAN
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Details

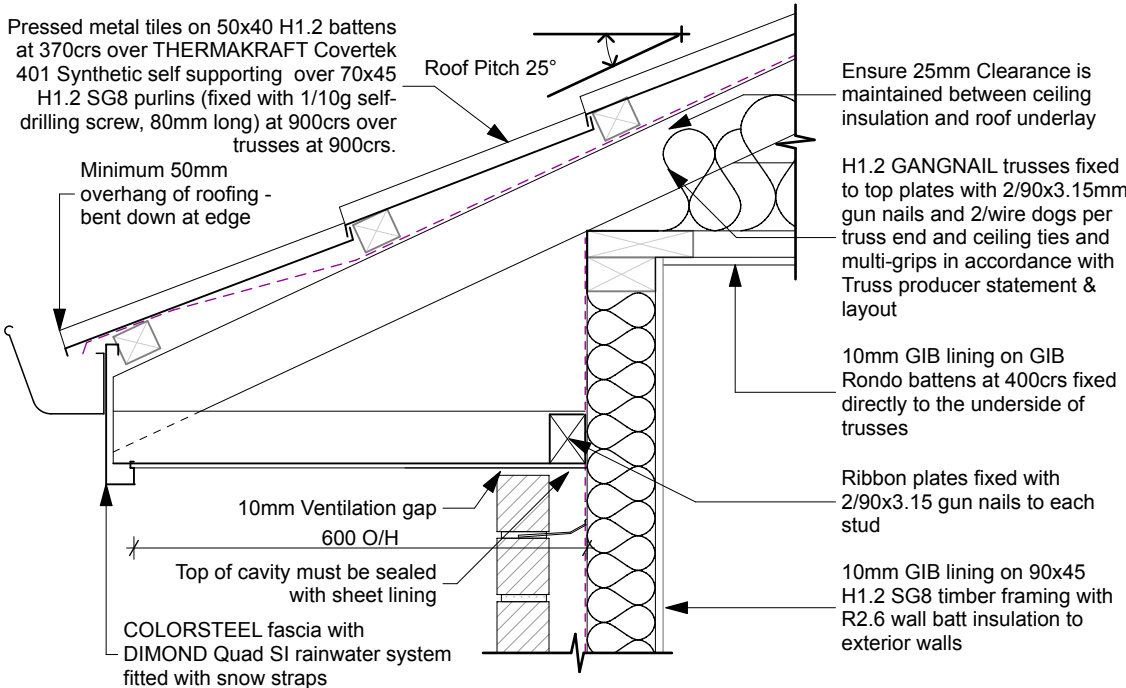
JOB No: 860742
SHEET SIZE: A3
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A13

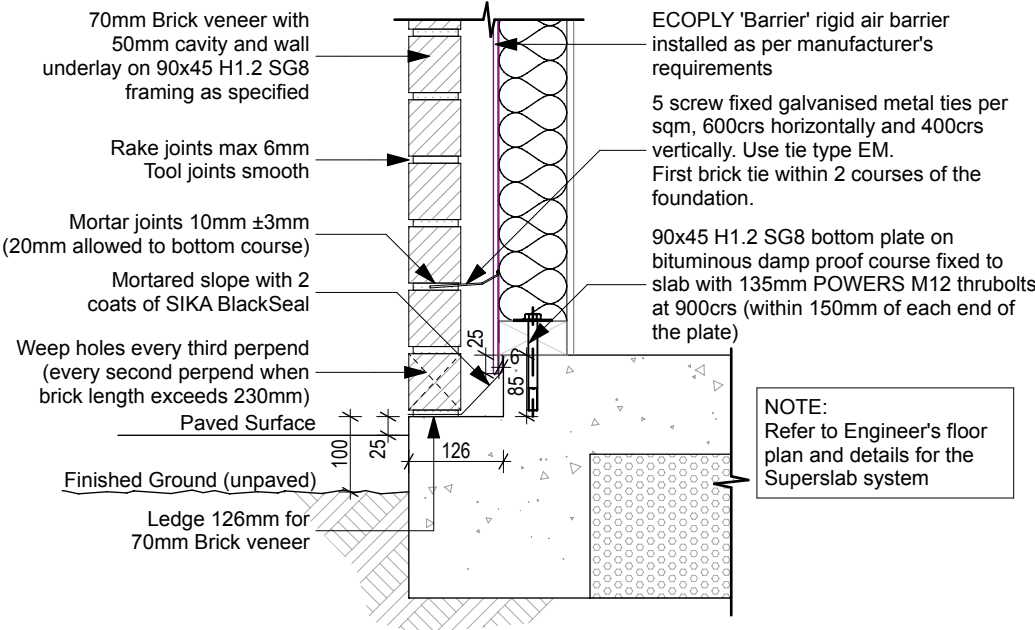
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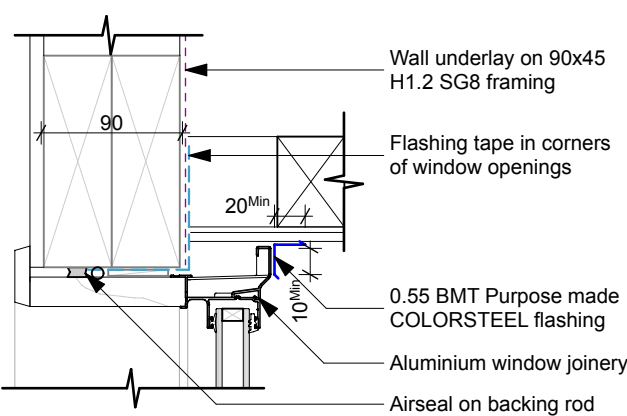


02 DETAIL | Soffit
SCALE 1:10 (A3)

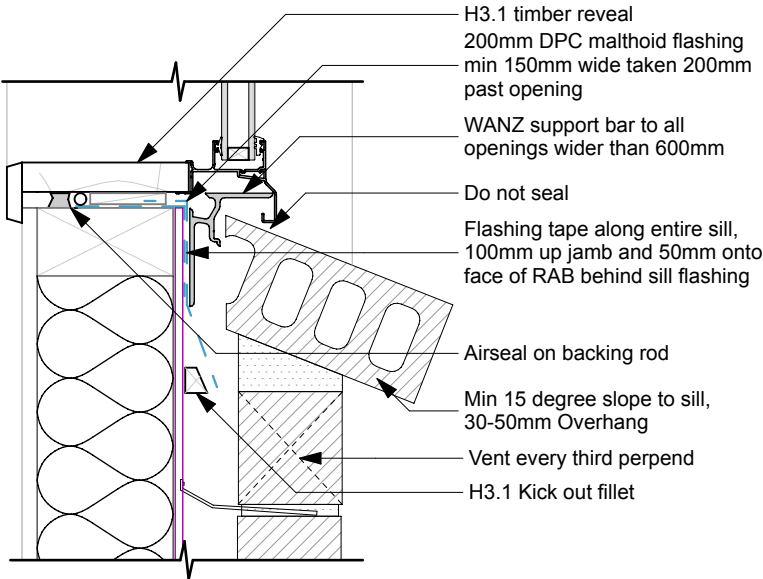


Note
The following fixings are to be used at top and bottom plate junctions:
- Butt over a stud 6T10 TYLOK plate fully nailed
- Butt joint over solid blocking 6/100x 3.75 nails per end
- Halved joint over stud 6/75x3.15 minimum

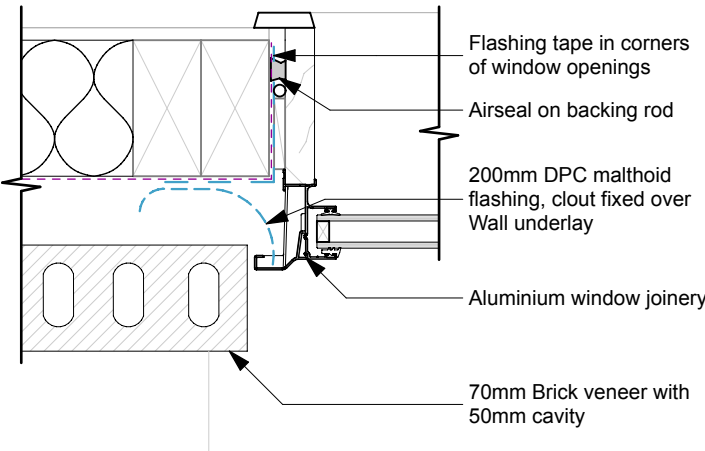
03 DETAIL | Foundation
SCALE 1:10 (A3)



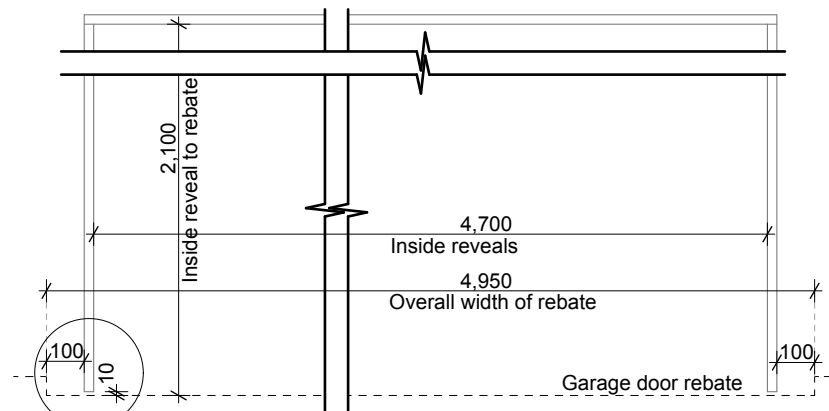
04 DETAIL | Window Head
SCALE 1:5 (A3)



05 DETAIL | Window Sill
SCALE 1:5 (A3)



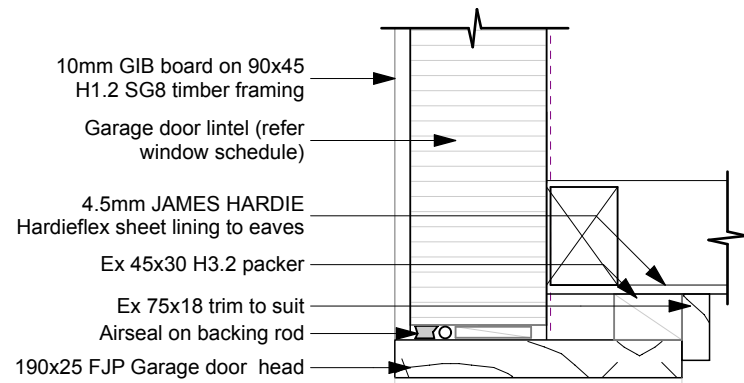
06 DETAIL | Window Jamb
SCALE 1:5 (A3)



Refer *Garage Door Sill* Detail

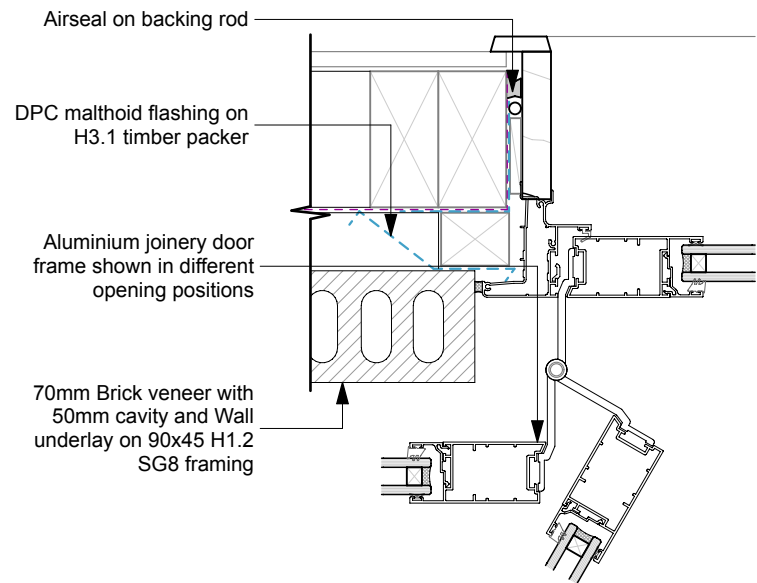
07 DETAIL | Garage Door

SCALE 1:20 (A3)

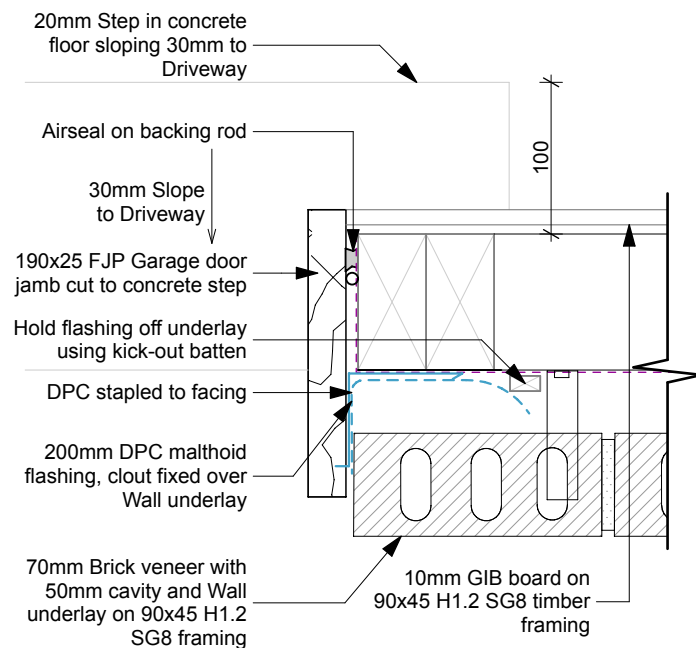


08 DETAIL | Garage Door Head

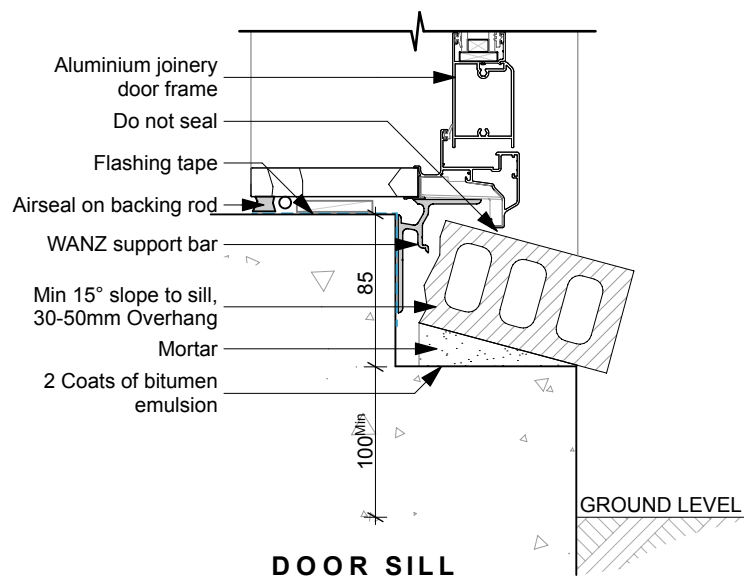
SCALE 1:5 (A3)



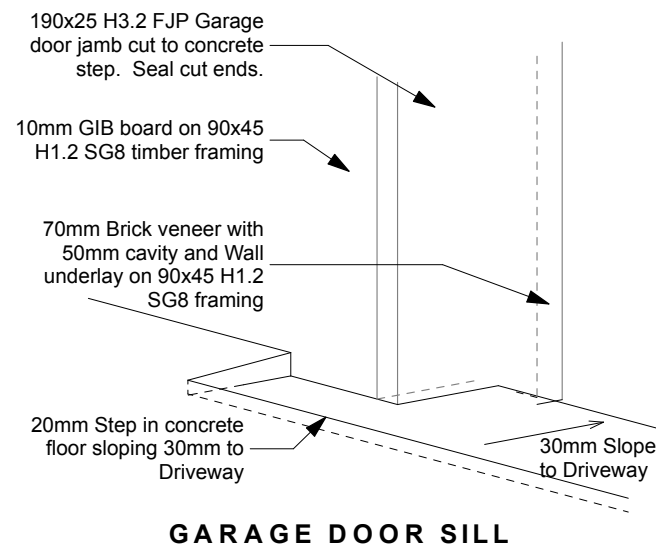
DOOR JAMB



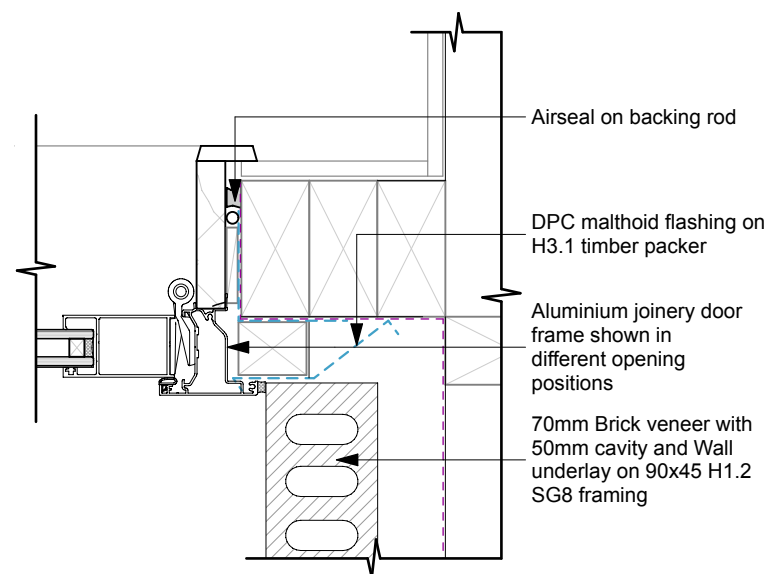
GARAGE DOOR JAMB



DOOR SILL



GARAGE DOOR SILL



10 DETAIL | Entry Door Jamb

SCALE 1:5 (A3)

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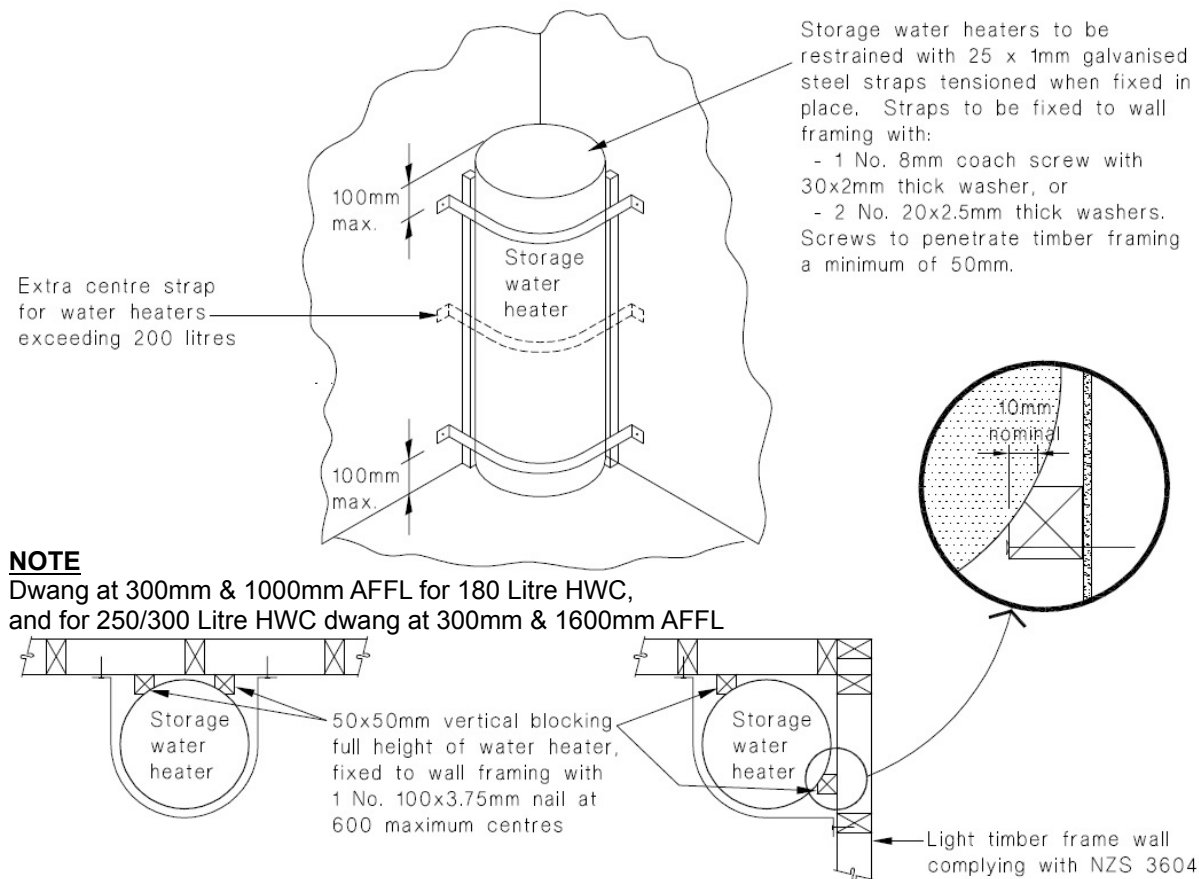
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Details		
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09 DETAIL | Doors

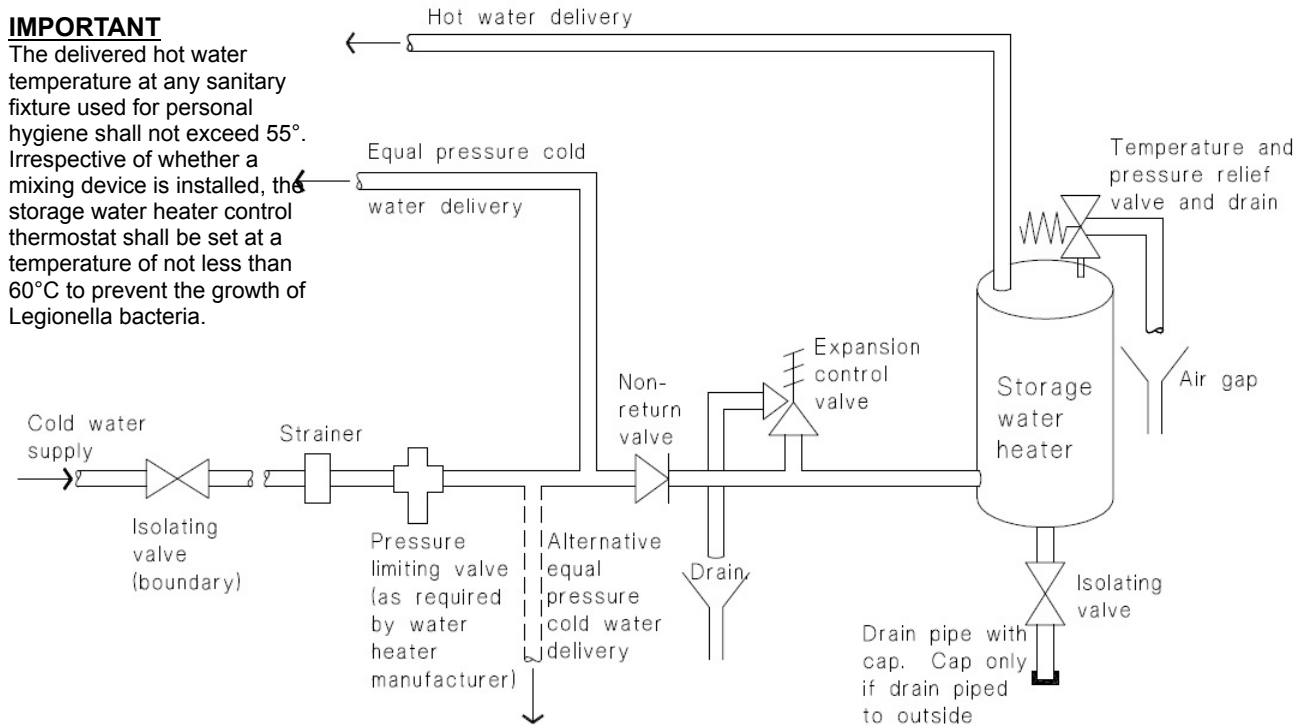
SCALE 1:5 (A3)



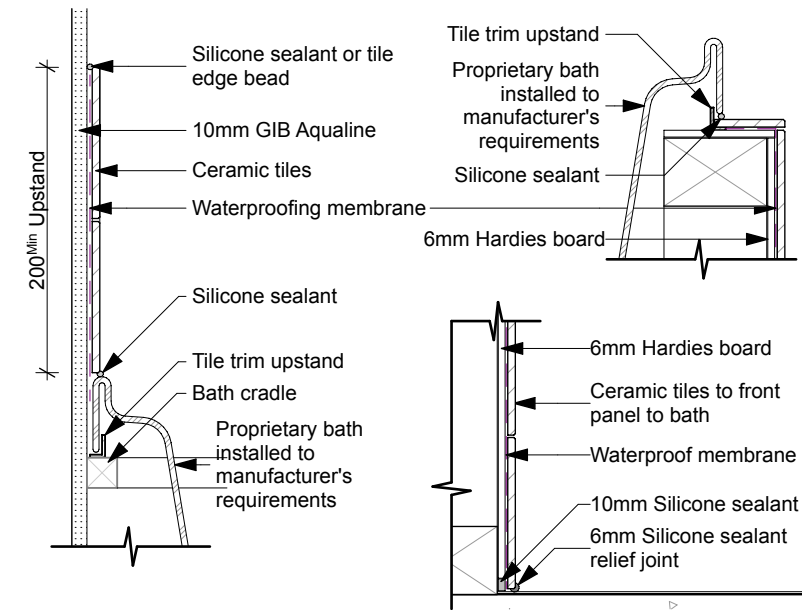
DETAIL | Seismic Restraint of Storage Water Heaters

IMPORTANT

The delivered hot water temperature at any sanitary fixture used for personal hygiene shall not exceed 55°. Irrespective of whether a mixing device is installed, the storage water heater control thermostat shall be set at a temperature of not less than 60°C to prevent the growth of Legionella bacteria.

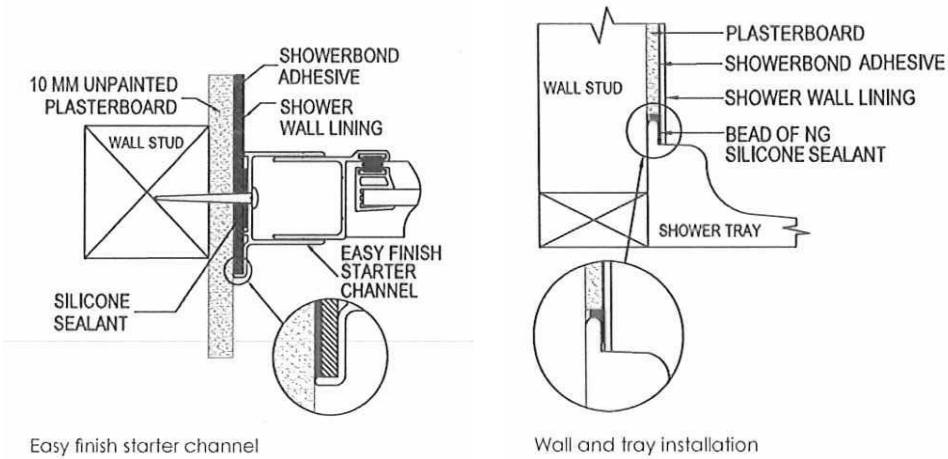


DETAIL | Mains Pressure Storage Water Heater System

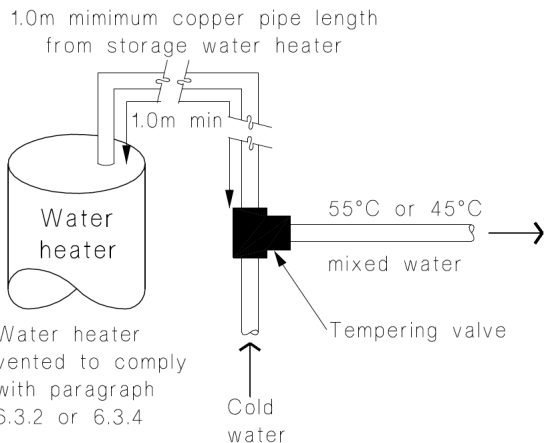


DETAIL | Bath Waterproofing

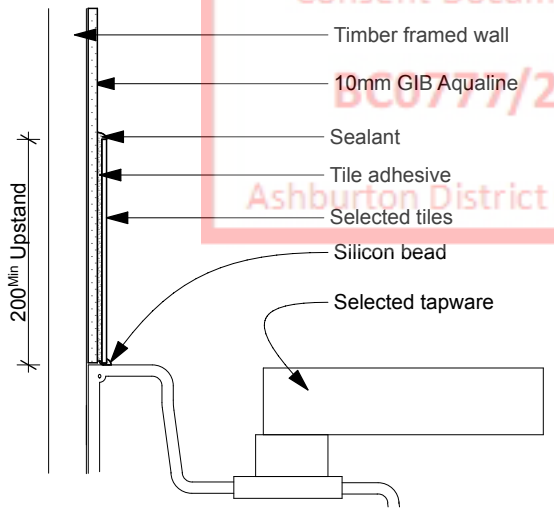
SCALE 1:5 (A3)



DETAIL | Proprietary Shower Lining

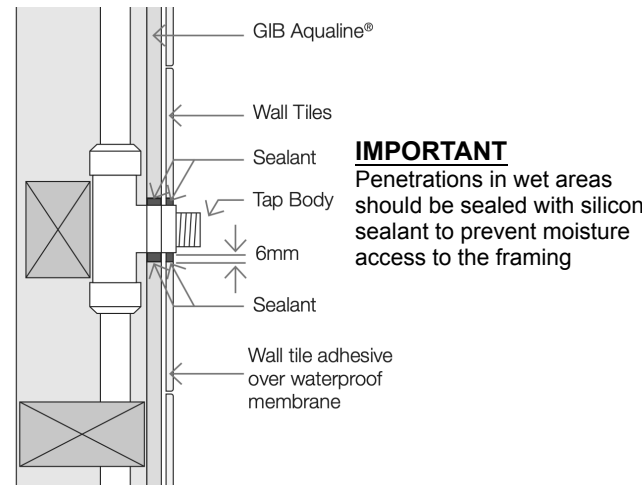


DETAIL | Tempering Valve Installation



DETAIL | Basin, Sink or Tub Watersplash

SCALE 1:2 (A3)



DETAIL | Plumbing Penetration

IMPORTANT

Penetrations in wet areas should be sealed with silicon sealant to prevent moisture access to the framing

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Details

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Schedules

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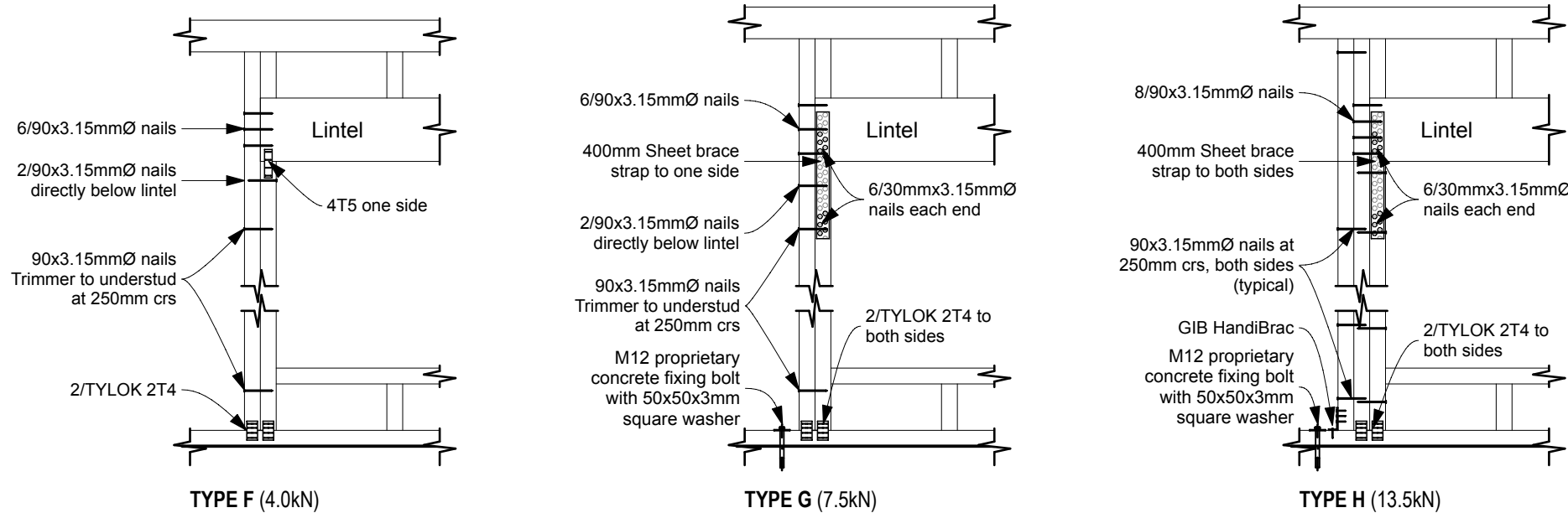
A16

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JOINERY & GLAZING NOTES

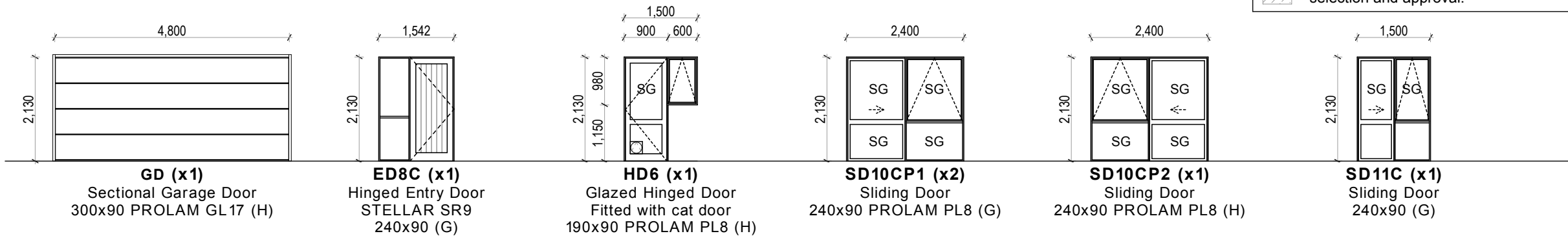
- Some windows and doors may be handed. Correct orientation and layout of joinery is indicated on the window schedule as follows:
AS: As shown | H: Handed
Contractor to verify the orientation of all windows and doors against Elevations on sheet A10 and report any discrepancies to the designer.
- Wall framing are to be pre-framed by PLACEMAKERS. Shown lintel sizes and fixings are minimum requirements and typical for each window type - refer framing plans by PLACEMAKERS for specific individual lintel sizes and fixings.
- All glazing to be IGU's with WERS R-Value of ≥ 0.26 (double glazed), clear glass unless otherwise specified:
SG : Safety Glazing
- All glazing to comply with the requirements of NZS4223. Min 5mm nom thickness to safety glazing.
- Fix trimmer to trimming stud with 2/100x3.75 hand driven nails (end nailed) or 3/90x3.15 power driven nails (end nailed).
- At least one stud either side of internal all doors.

 Denotes glazing to be tinted as per Owner's selection and approval.



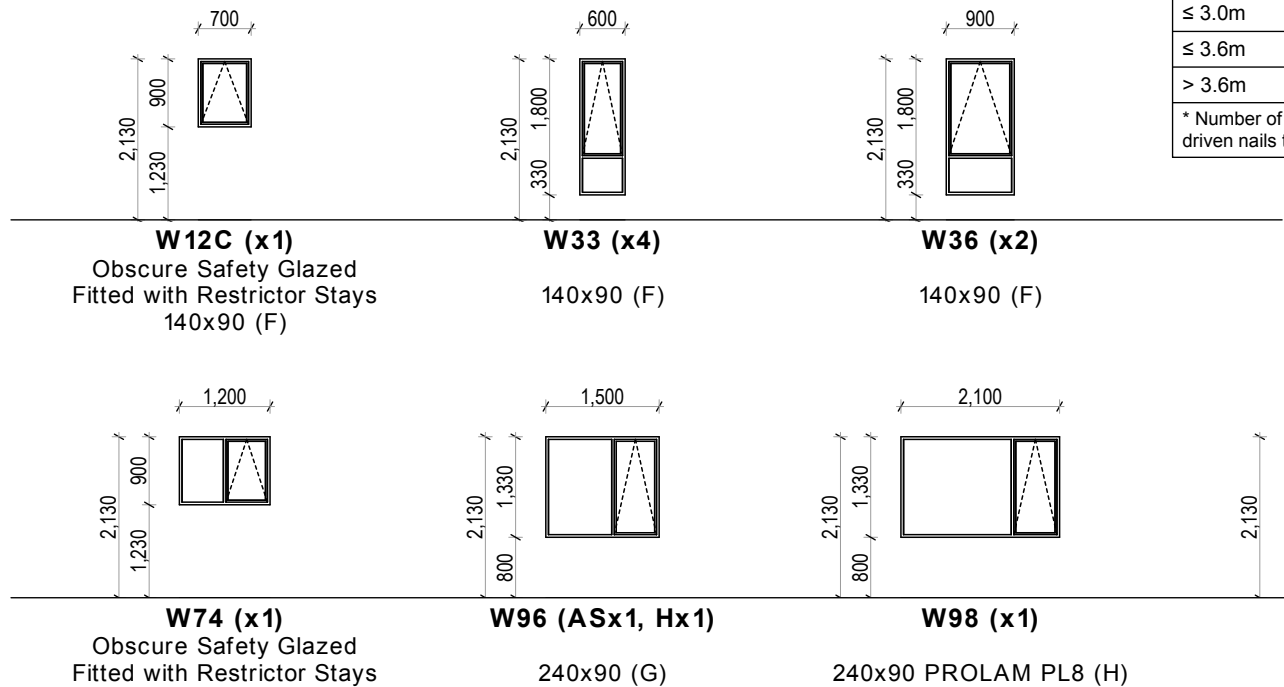
DETAIL | Lumberlok Lintel Fixing Types

SCALE 1:20 (A3)



DOOR SCHEDULE

SCALE 1:100 (A3)



WINDOW SCHEDULE

SCALE 1:100 (A3)

Trimmer Size and Fixings

Opening Size	Trimmer Size	Fixing*
$\leq 2.4\text{m}$	45mm	3
$\leq 3.0\text{m}$	90mm (or 2/45)	5
$\leq 3.6\text{m}$	135mm (or 3/45)	6
$> 3.6\text{m}$	SED	SED

* Number of 90x3.15 (end nailed) power-driven nails to trimming studs

H1 COMPLIANCE

TOTAL
Wall Area : 155.10m²
Glazing Area: 43.48m²
Percentage of glazing to wall area: 28.03%

East, South and West Walls

Wall Area : 113.14m²
Glazing Area: 31.89m²
Percentage of glazing to wall area: 28.19%

Skylights

Glazing Area: 0.00m²

Therefore dwelling complies with the Schedule Method (Garage excluded)

NOTE - Walls separating Garage from the rest of the dwelling to be insulated with R2.6 Wall batt insulation

Construction R-Values to new elements

As per BRANZ House Insulation Guide Fifth Edition

FLOOR

Waffle Pod without perimeter insulation
Area/Perimeter Ratio: 2.5
Total Construction R-Value: **R1.5**

WALLS - Brick Veneer

90mm Timber framed (cavity)
- studs at 400crs, dwangs @ 1200crs
Insulation material R-Value: R2.6
Total Construction R-Value: **R2.0**

ROOF - Pitched Timber Framed

90mm bottom chord, trusses at 900crs
Insulation material R-Value: R3.6
Total Construction R-Value: **R3.4**

GLAZING

All Vertical glazing to be IGU's with WERS R-Value of ≥ 0.26 (double glazed)

Attachments for windows and doors

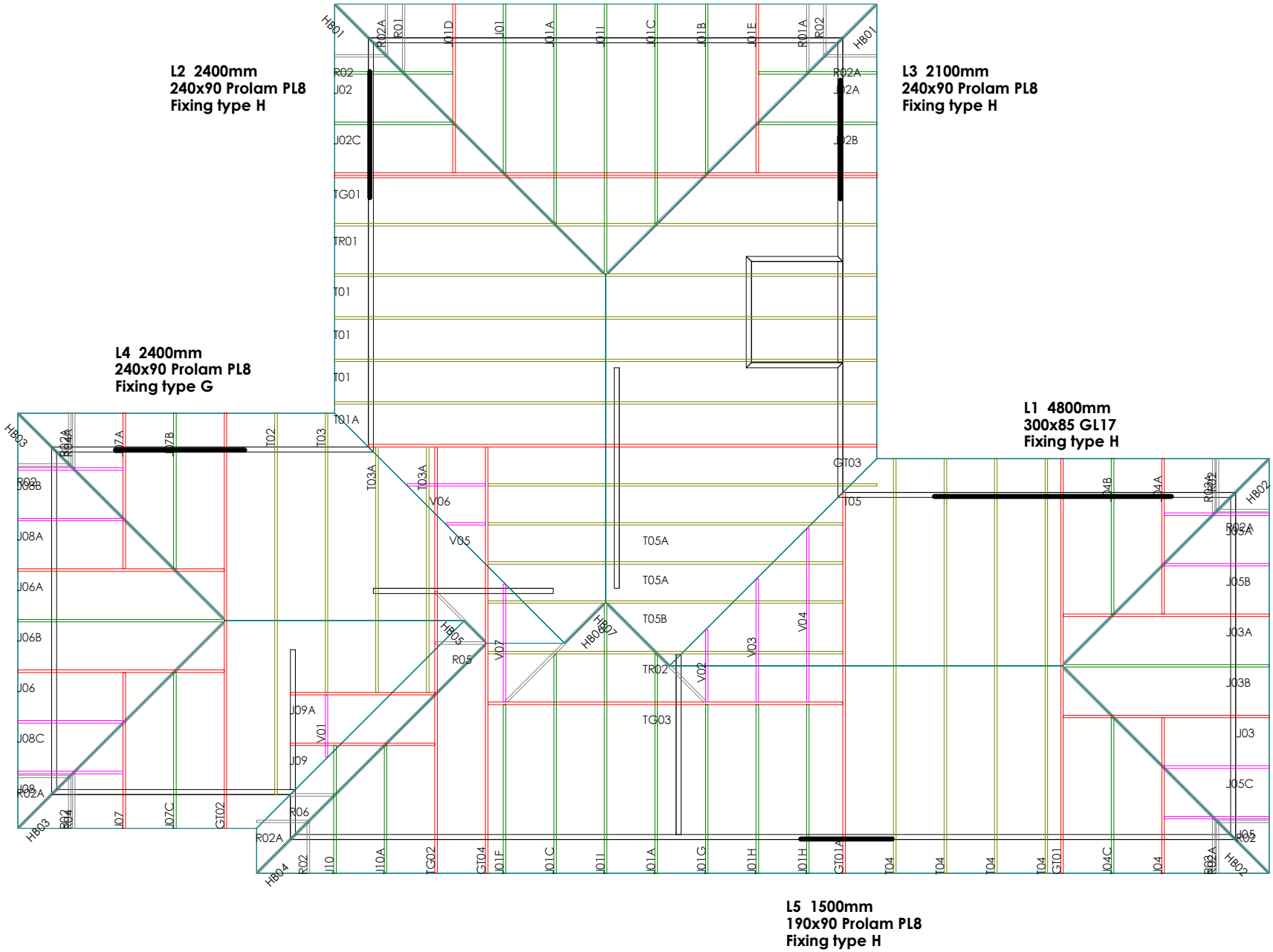
(E2/AS1 9.1.10.8)

Install windows and doors using pairs of minimum 75 x 3.15 galvanised jolt head nails or 8 gauge x 65 mm stainless steel screws, through reveals into surrounding framing at:

- Maximum 450crs along sills, jambs and heads, and
- Maximum 150mm from reveal ends.

Install packers between reveals and framing at all fixing points, except between head reveals and lintels.

Layout is null and void if trusses not supplied by PlaceMakers



Site Address :
Coles residence
Lot 208 Camrose Estate
Methven

Sheet Title :
For Building Consent
Buildable Truss Layout

Date : 31 Aug,2021
Scale : 1: 100
Drawn : Brian Mee
System : MiTek 20/20

Job Details:
Roof Pitch : 25.000 Deg
Roof Material : Light
Ceiling Material : Gib Board 10mm
Wind Zone : Very High
Roof Snow Load : 0.980 kPa

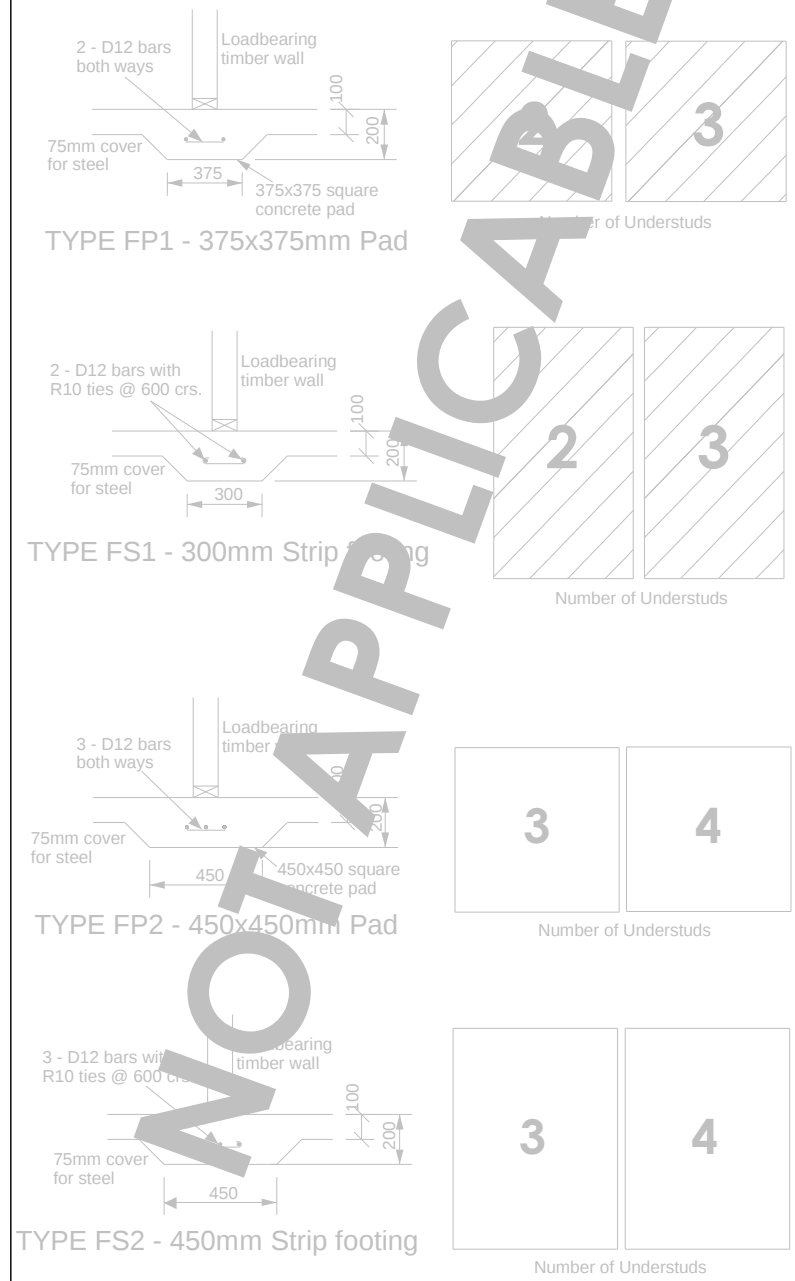
Truss Centres : 900 mm
Roof Live Load : 0.250kPa
Floor Live Load : kPa
Wind Speed : 50.0 m/s



Job Title :
213073
Sheet :
1
Revision Number :

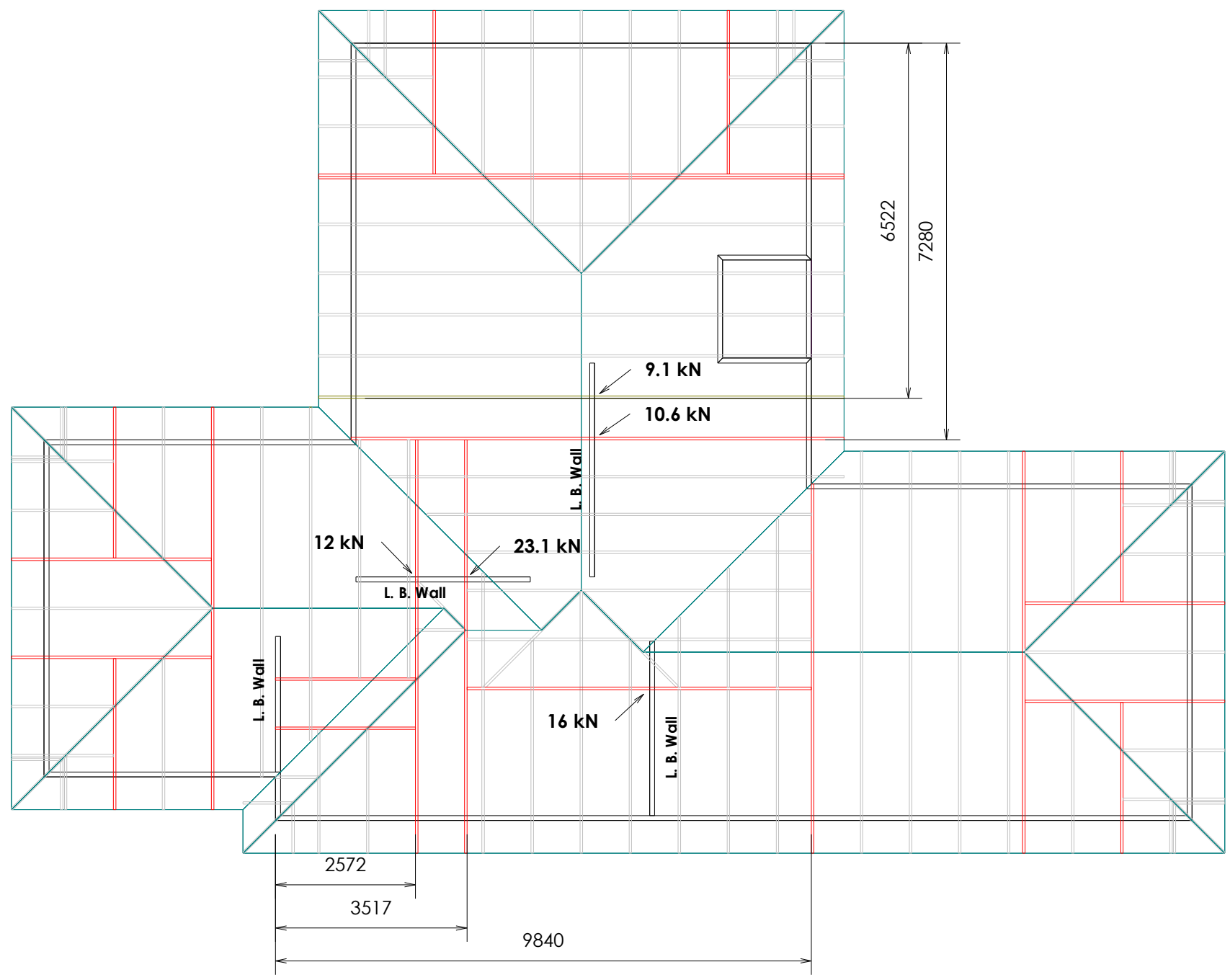
PrimeCad v4.7.346

Slab Thickening Details



NOTES:
All point loads exceeding 8.0kN are indicated.
All walls shown to be considered load bearing.
Refer to Rib-raft floor design for slab thickening.

Layout is null and void if trusses not supplied by PlaceMakers



Approved Building

Consent Documents

BC0777/21

Ashburton District Council

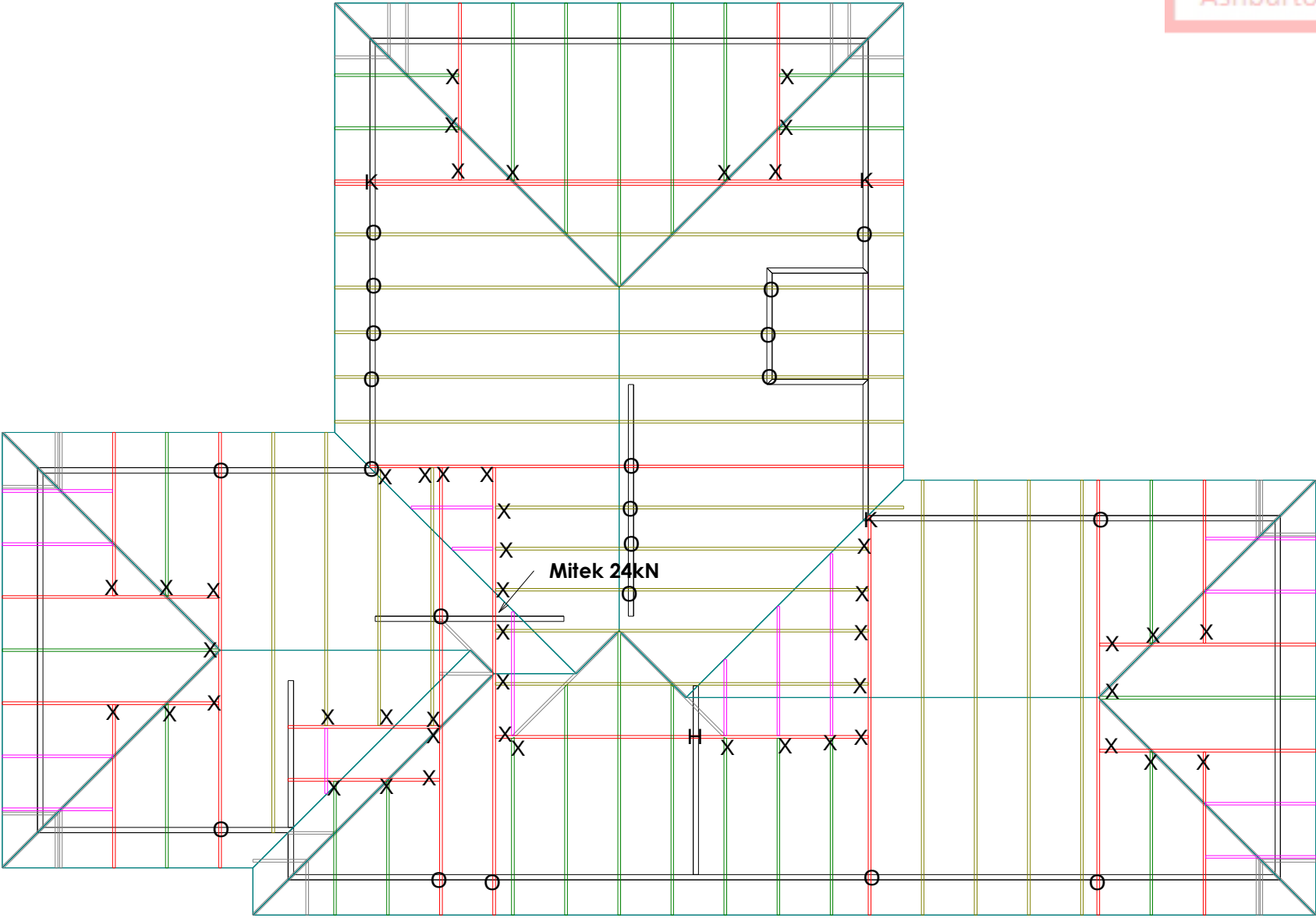
	Site Address : Coles residence Lot 208 Camrose Estate Methven	Sheet Title : For Building Consent Slab Thickening	Job Details: Roof Pitch : 25.000 Deg Roof Material : Light Ceiling Material : Gib Board 10mm Wind Zone : Very High Roof Snow Load : 0.980 kPa	Truss Centres : 900 mm Roof Live Load : 0.250kPa Floor Live Load : kPa Wind Speed : 50.0 m/s		Job Title : 213073
		Date : 31 Aug,2021 Scale : 1: 100	Drawn : Brian Mee System : MiTek 20/20			Sheet : 2
						Revision Number :

PrimeCad v4.7.346

Truss Fixings

- X - LUMBERLOK JH47x90 Joist Hanger
- Z - LUMBERLOK JH47x120 Joist Hanger
- P - LUMBERLOK JH47x190 Joist Hanger
- E - LUMBERLOK JH95x165 Joist Hanger
- O - Pair of LUMBERLOK CT200 Ceiling Ties
- H - LUMBERLOK CT400 Cyclone Tie
- B - LUMBERLOK CT600 Cyclone Tie
- M - Pair of LUMBERLOK Multi Grips
- NP - LUMBERLOK Nailon Plate
- N - LUMBERLOK N21 Diagonal Cleat
- W - Pair of LUMBERLOK CPC40 Cleats
- K - LUMBERLOK TTP 16kN Truss to Top Plate set
- G - LUMBERLOK TTP 9kN Truss to Top Plate set

Layout is null and void if trusses not supplied by PlaceMakers



NOTES:

All other areas must have at the minimum
2/ 90x3.15mm skew nails + 2 wire dogs (4.7kN)
for truss to top plate connections.

Refer to:
LUMBERLOK Timber Connectors Characteristic
Loadings Data brochure 03/4



Site Address :
Coles residence
Lot 208 Camrose Estate
Methven

Sheet Title :
**For Building Consent
Truss Fixings**

Date : 31 Aug,2021 Drawn : Brian Mee
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Floor Live Load : kPa
Wind Speed : 50.0 m/s



Job Title :
213073
Sheet :
3
Revision Number :

PrimeCad v4.7.346



01/2017

LINTEL FIXING SCHEDULE

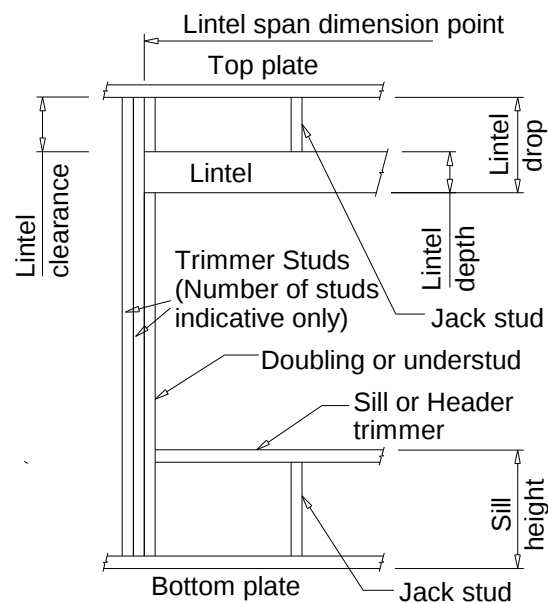
ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12

NZS 3604:2011

NOTE:

- ★ All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20 kPa.
- ★ Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist horizontal loads.
- ★ These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- ★ All fixings assume bottom plate thickness of 45mm maximum. Note: TYLOK options on timber species.
- ★ Wall framing arrangements under girder trusses are not covered in this schedule.
- ★ All timber selections are as per NZS 3604:2011

DEFINITIONS



Lintel Supporting Girder Trusses:

Roof Tributary Area	Light Roof Wind Zone			Heavy Roof Wind Zone		
	L, M, H	VH	EH	L, M, H	VH	EH
8.6 m ²	G	G	H	G	G	H
11.6 m ²	G	H	H	G	G	H
12.1 m ²	G	H	H	G	H	H
15.3 m ²	H	H	-	G	H	H
19.1 m ²	H	-	-	G	H	-
20.9 m ²	H	-	-	H	H	-
21.8 m ²	H	-	-	H	-	-
34.3 m ²	-	-	-	H	-	-

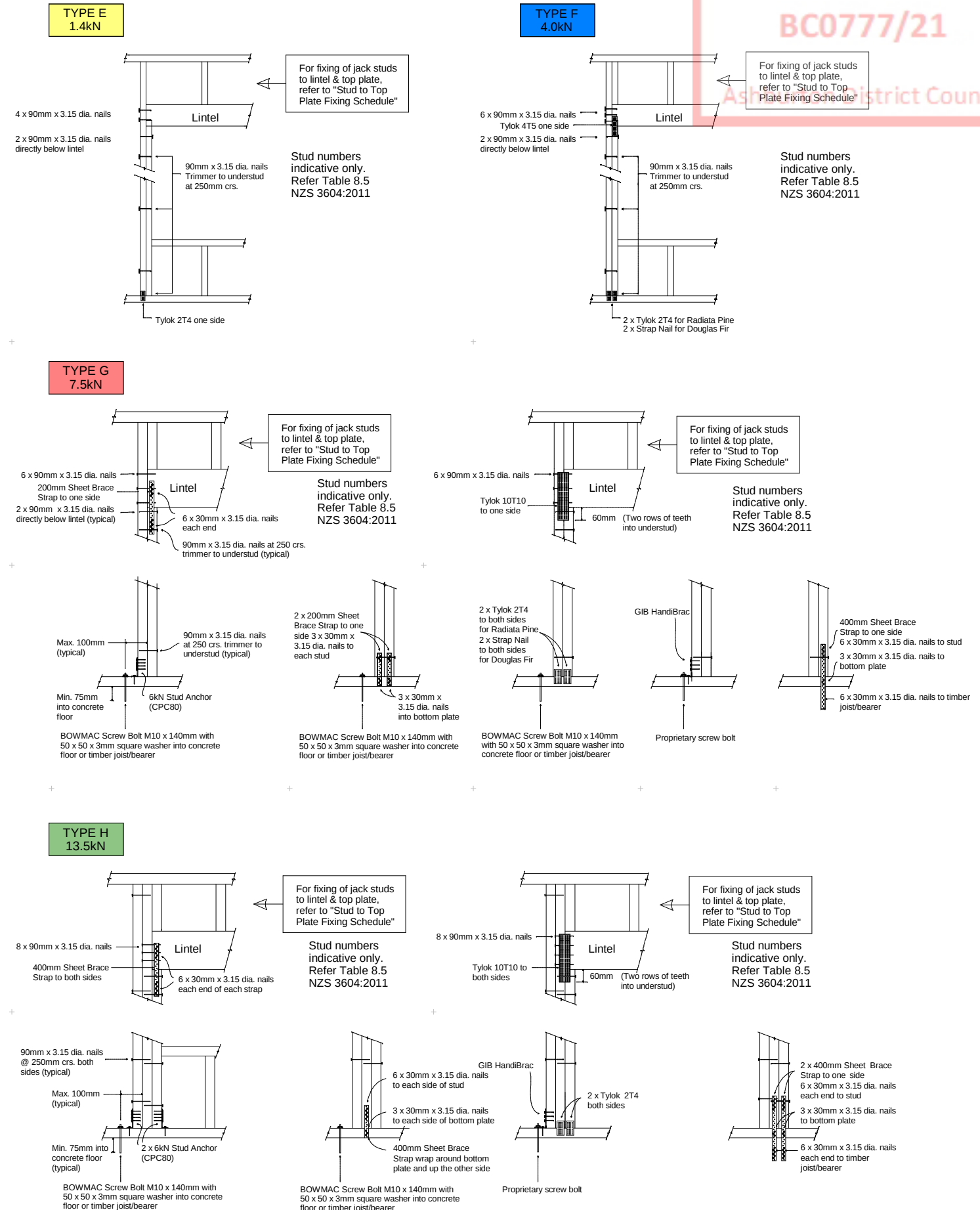
Notes:

- 1) Roof Tributary Area = approx. 1/2 x (Total roof area on girder and rafter trusses supported by Lintel)
- 2) Assumed girder truss is at mid-span or middle third span of lintel
- 3) Use similar fixings for both ends of lintel
- 4) All other cases require specific engineering design.

SELECTION CHART FOR LINTEL FIXING

Lintel Span	Loaded Dimension (See Fig. 1.3 NZS 3604:2011)	Light Roof Wind Zone				Heavy Roof Wind Zone			
		L	M	H	VH/EH	L	M	H	VH/EH
1.0	2.0	E	E	E	F	E	E	E	F
	3.0	E	E	F	F	E	E	E	F
	4.0	E	F	F	F	E	F	F	F
	5.0	E	F	F	G	E	F	F	G
	6.0	E	F	F	G	E	F	F	G
1.2	2.0	E	E	F	F	E	E	F	F
	3.0	E	E	F	F	E	E	F	F
	4.0	E	F	F	G	E	F	F	G
	5.0	E	F	F	G	E	F	F	G
	6.0	F	F	G	G	E	F	F	G
1.5	2.0	E	E	F	F	E	E	F	F
	3.0	E	F	F	F	E	E	F	F
	4.0	E	F	F	G	E	F	F	G
	5.0	F	F	G	H	E	F	F	G
	6.0	F	F	G	H	E	F	F	G
2.0	2.0	E	F	F	F	E	E	F	F
	3.0	E	F	F	G	E	E	F	G
	4.0	F	F	G	G	E	F	F	G
	5.0	F	F	G	H	E	F	F	G
	6.0	F	F	G	H	E	F	F	G
2.4	2.0	E	F	F	G	E	E	F	G
	3.0	F	F	G	G	E	F	F	G
	4.0	F	F	G	H	E	F	F	G
	5.0	F	G	G	H	E	F	G	H
	6.0	F	G	H	H	E	F	G	H
3.0	2.0	E	F	F	G	E	E	F	G
	3.0	F	F	G	H	E	F	F	G
	4.0	F	G	G	H	E	F	G	H
	5.0	F	G	H	H	E	F	G	H
	6.0	F	G	H	H	E	F	G	H
3.6	2.0	F	F	G	G	E	E	F	G
	3.0	F	F	G	H	E	F	G	H
	4.0	F	G	H	H	E	F	G	H
	5.0	F	G	H	H	E	F	G	H
	6.0	G	H	H	-	E	F	H	-
4.2	2.0	F	F	G	G	E	E	F	G
	3.0	F	G	H	H	E	F	G	H
	4.0	F	G	H	H	E	F	G	H
	5.0	G	H	H	-	E	F	H	-
	6.0	G	H	-	-	E	F	H	-
4.5	2.0	F	F	G	G	E	E	F	G
	3.0	F	G	H	H	E	F	G	H
	3.4	F	G	H	H	E	F	G	H
	4.0	F	G	H	H	E	F	G	H
	5.0	G	H	-	-	E	F	H	-
4.8	2.0	F	F	G	G	E	E	F	G
	3.0	F	G	H	H	E	F	G	H
	3.2	F	G	H	H	E	F	G	H
	4.0	F	G	H	-	E	F	H	-
	5.0	G	H	-	-	E	F	H	-
5.1	2.0	F	F	G	G	E	E	F	G
	3.0	F	G	H	H	E	F	G	H
	3.5	F	G	H	-	E	F	G	H
	4.0	G	G	H	-	E	F	H	-
	5.0	G	H	-	-	E	F	H	-
5.4	2.0	F	F	G	G	E	E	F	G
	2.8	F	G	H	H	E	F	G	H
	3.0	F	G	H	-	E	F	G	H
	4.0	G	H	H	-	E	F	H	-
	5.0	G	H	-	-	E	F	H	-

LINTEL FIXING OPTIONS



MiTek New Zealand Limited

AWKLAND
PO Box 58-014, Botany 2163
Phone: 09-274 7109
Fax: 09-274 7100

CHRISTCHURCH
PO Box 8387, Riccarton 8440
Phone: 03-348 8691
Fax: 03-348 0314

www.mitek.co.nz

GANG-NAIL® LUMBERLOK® BOWMAC®

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Approved Building

Consent Documents

BC0777/21

Asst District Council

NEW RESIDENCE LOT 208, CAMROSE ESTATE, METHVEN.

STRUCTURAL DRAWING LIST 13147

DWG No.	TITLE			
S.01	FOUNDATION LAYOUT & GROUND WORKS DETAIL	0		
S.02	FOUNDATION DETAILS	0		
S.03	FOUNDATION DETAILS	0		
S.04	FOUNDATION DETAILS	0		
ISSUED TO:				
studio@nomolos.co.nz		A		
		DATE	08-11-2021	

REINFORCEMENT NOTES:

BAR LAP LENGTHS:

BAR LAP LENGTHS:

D10 - 350mm	HD12 - 700mm
D12 - 450mm	HD16 - 900mm
D16 - 550mm	HD20 - 1150mm

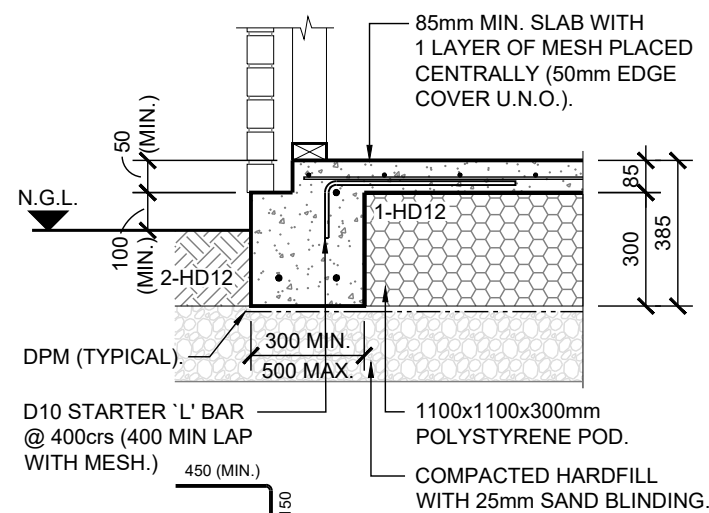
BAR GRADES:

R - STRUCTURAL GRADE ROUND BAR.
D - DEFORMED BAR GRADE 300E
HD - DEFORMED BAR GRADE 500E

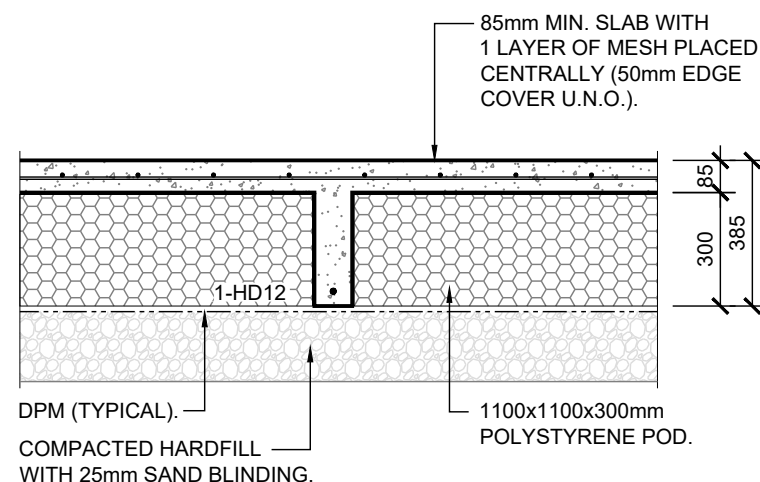
ALL FLOOR MESH TO BE TRIMMED TO HAVE 50mm EDGE COVER. IF MESH IS NOT LAPPED A MIN. OF 225mm OVER FOUNDATION BEAM INSTALL D10 STARTERS @ 400crs.

COVER:

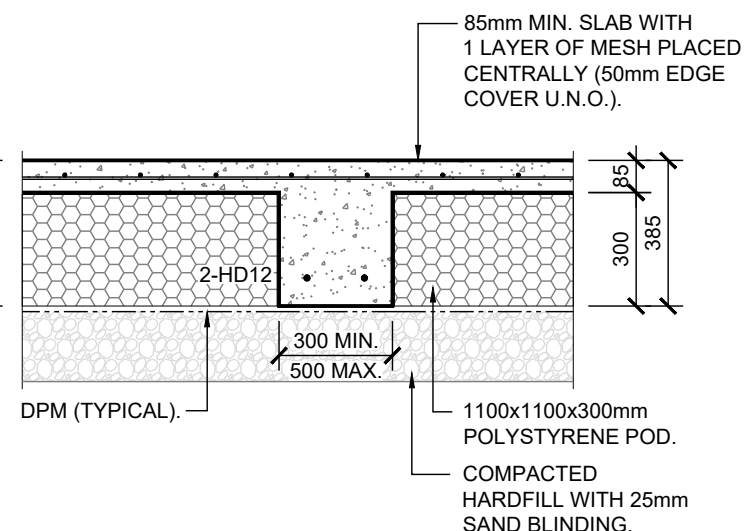
- 50mm TO BOTTOM OF FOUNDATIONS.
- 50mm TO SIDES OF EXTERNAL FOUNDATION BEAMS.
- 40mm TO SIDES OF INTERNAL FOUNDATIONS AND RIBS.
- MESH CENTRAL IN SLAB.



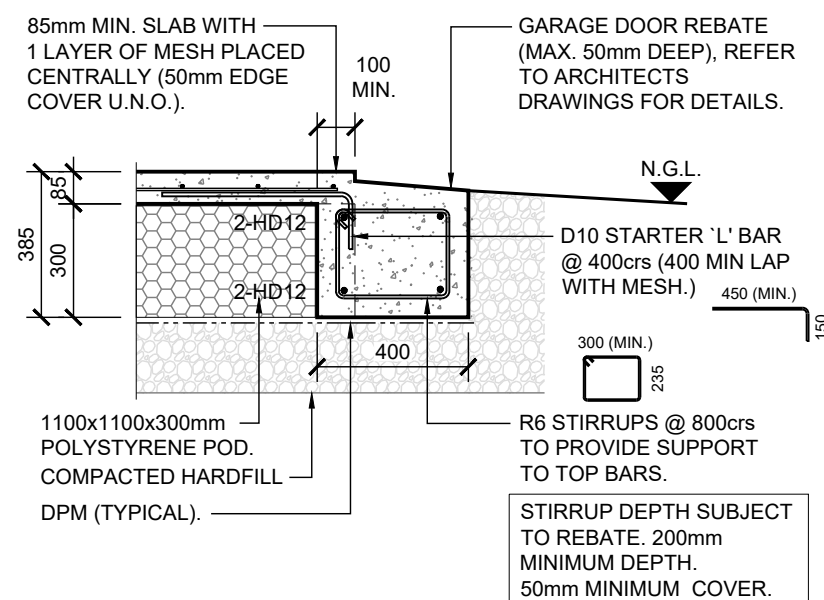
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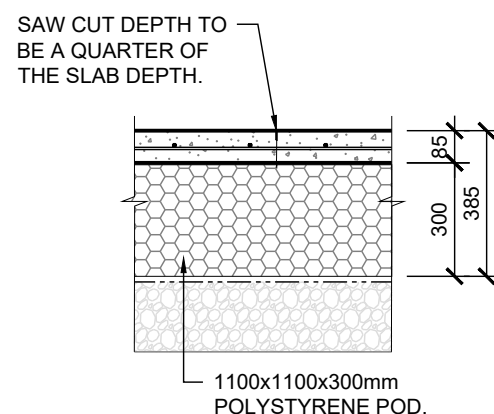
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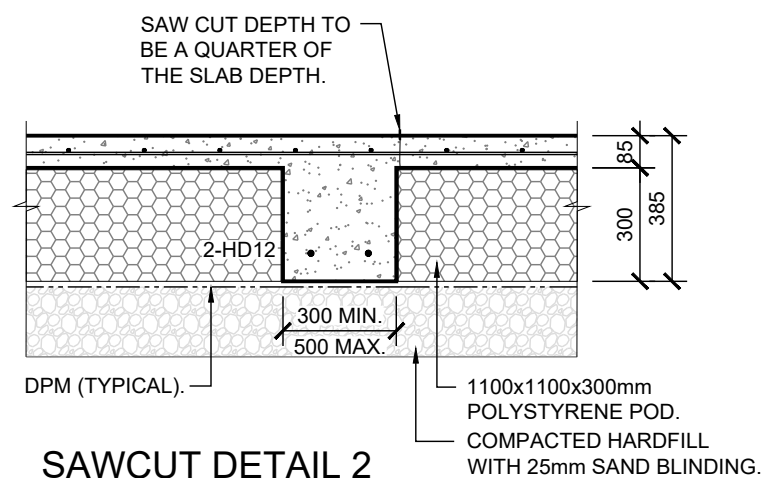
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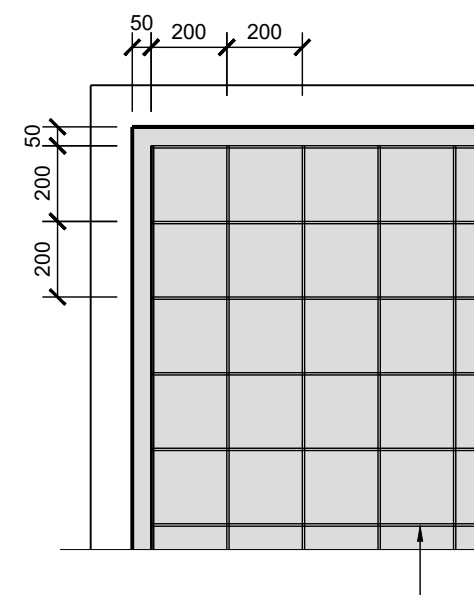
GARAGE DOOR REBATE DETAIL.



SAWCUT DETAIL 1



SAWCUT DETAIL 2



85mm SLAB WITH 1 LAYER
OF 500E MESH PLACED
CENTRALLY (50mm EDGE
COVER U.N.O.).

MESH LAYOUT - PLAN.
SCALE 1:20

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS

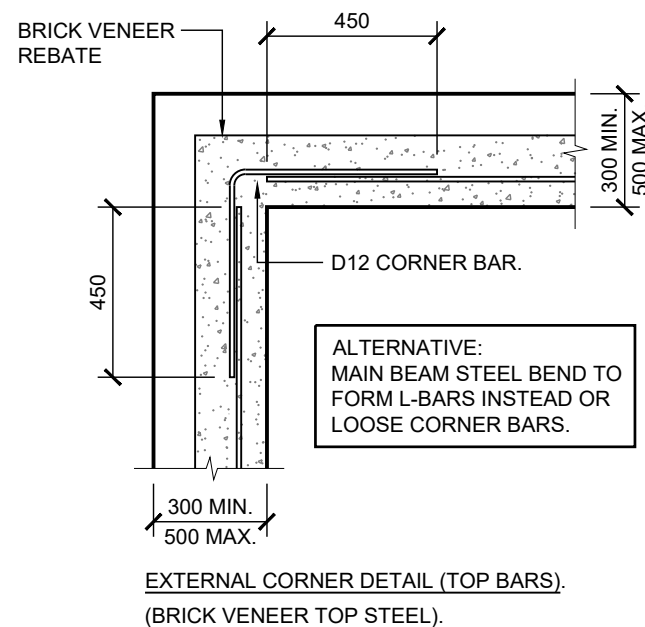
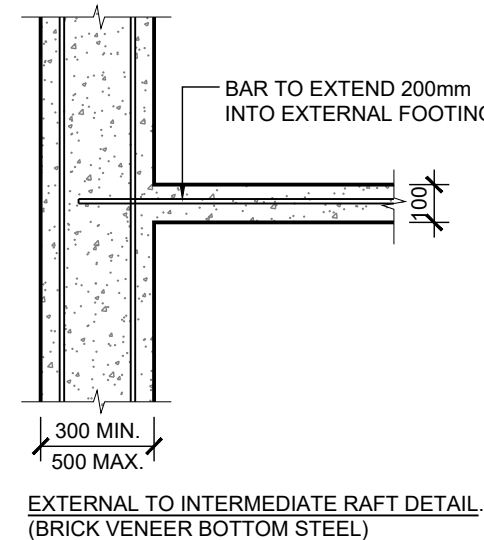
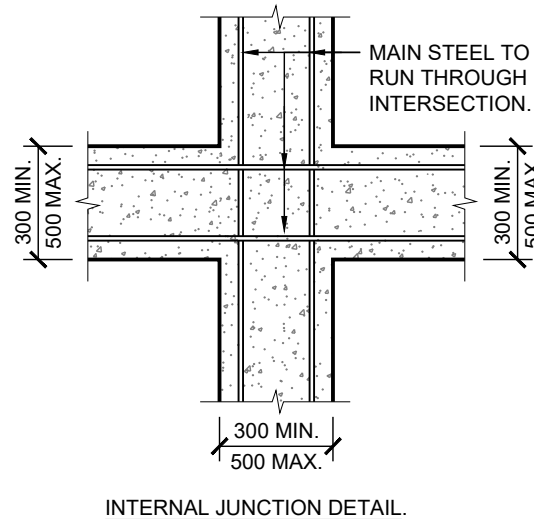
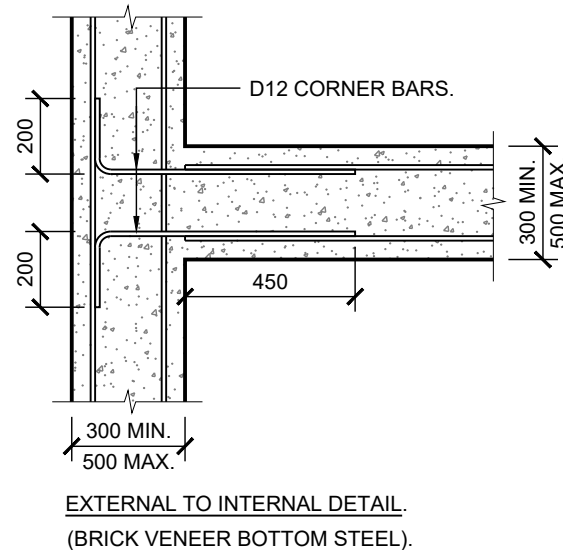
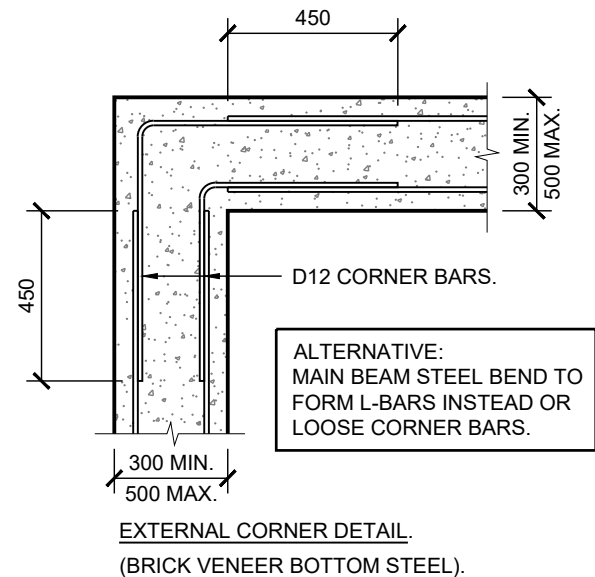
REINFORCEMENT NOTES:

BAR LAP LENGTHS:
D10 - 350mm HD12 - 700mm
D12 - 450mm HD16 - 900mm
D16 - 550mm HD20 - 1150mm

BAR GRADES:
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ALL FLOOR MESH TO BE TRIMMED TO HAVE 50mm EDGE COVER. IF MESH IS NOT LAPPED A MIN. OF 225mm OVER FOUNDATION BEAM INSTALL D10 STARTERS @ 400crs.

COVER:
-50mm TO BOTTOM OF FOUNDATIONS.
-50mm TO SIDES OF EXTERNAL FOUNDATION BEAMS.
-40mm TO SIDES OF INTERNAL FOUNDATIONS AND RIBS.
-MESH CENTRAL IN SLAB.



FOUNDATION INTERSECTION DETAILS - PLAN.
SCALE 1:20

CONSTRUCTION ISSUE

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS

	CLIENT GJ GARDNER	PROJECT TITLE LOT 208, CAMROSE ESTATE, METHVEN.	DRAWING TITLE FOUNDATION DETAILS.	REV.	BY.	DATE:	COMMENT:	DESIGN.	JOB No.	DRAWING No. S.03	REV. 0
				0	J.J.	08-11-2021	ISSUED FOR CONSTRUCTION	C.B.	13147		
								DRAWN.	SCALE @ A3		
								J.J.	1:20		

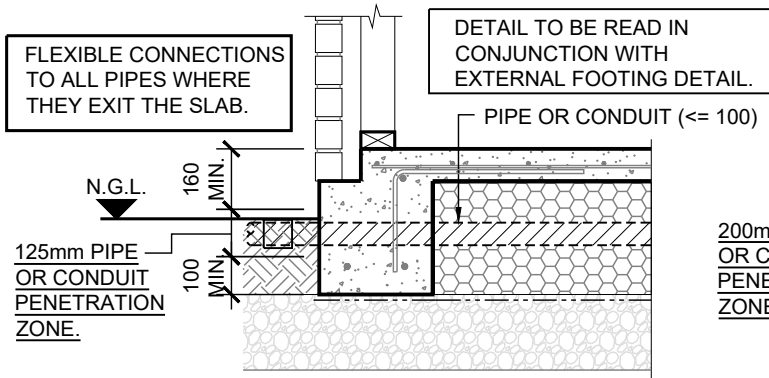
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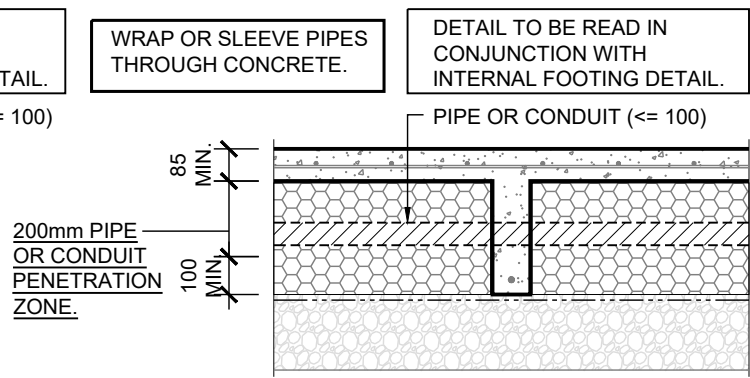
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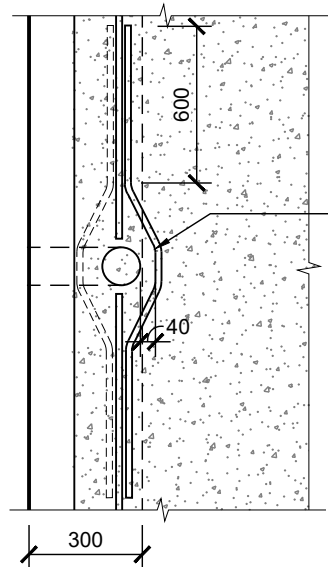
EXTERNAL PIPE PENETRATION DETAIL



INTERNAL PIPE PENETRATION DETAIL

TYPICAL PIPE PENETRATION DETAILS.

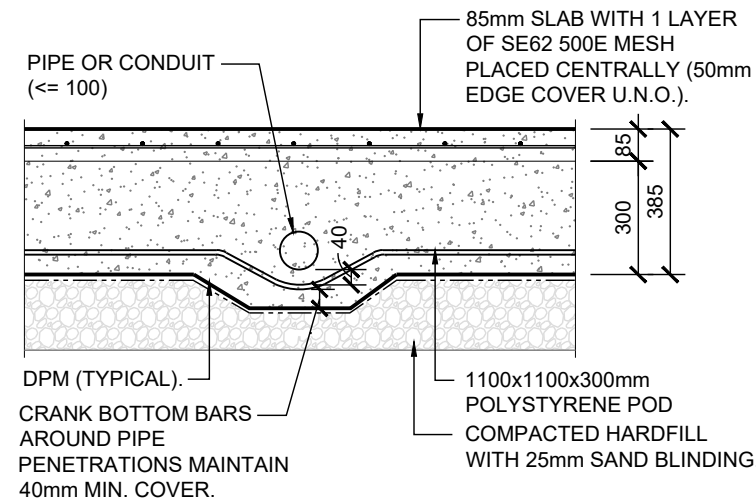
SCALE 1:20



PIPE PENETRATION DETAIL.

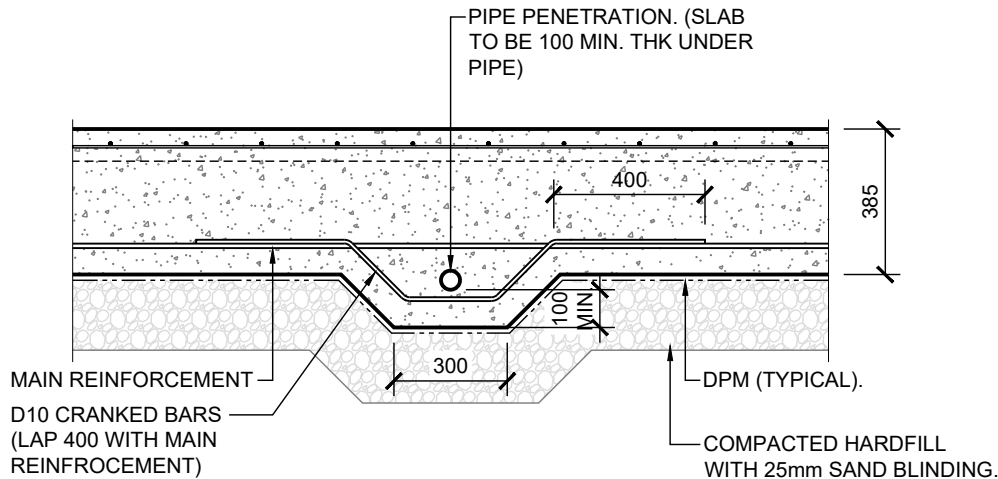
PIPE PENETRATION DETAIL - PLAN.

SCALE 1:20



PIPE PENETRATION

SCALE 1:20



THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS



CLIENT
GJ GARDNER

PROJECT TITLE
LOT 208, CAMROSE ESTATE,
METHVEN.

DRAWING TITLE
FOUNDATION DETAILS.

REV.	BY.	DATE:	COMMENT:
0	J.J.	08-11-2021	ISSUED FOR CONSTRUCTION

DESIGN.	JOB No.	DRAWING No.	REV.
C.B.	13147	S.04	0
DRAWN. J.J.	SCALE @ A3 1:20		

CONSTRUCTION ISSUE